

CONTACT DETAILS

.... Applicant

1 **Go Green Foundation Trust**

Office at- Flat No. 612, C-Wing, Mount Kailash Apt.,
Belasis Road, Mumbai Central, Mumbai-400008

Email ID : gogreenfoundation57@gmail.com

Phone :

2 **Mr. Sayyed Mohammed Sabir Usman**

R/o: Flat No. 612, C-Wing, Mount Kailash Apt.,
Belasis Road, Mumbai Central, Mumbai-400008

Email ID : Sayyedsabir455@gmail.com

Phone : 9833102777

VERSUS

.... Respondents

1 **Union of India -**

Ministry Of Environment, Forest and Climate Change
Paryavaran Bhawan, CGO Complex, Lodhi Road,
New Delhi - 110001

Thro' : Secretary

Email ID : secy-moef@nic.in

Phone : 011-24695262

2 **Central Ground Water Authority**

18/11, Jamnagar House, Man Singh Road
New Delhi - 110011

Thro' : Member Secretary

Email ID : cgwa@nic.in

Phone : 011-23383561

3 State Level Environment Impact Assessment

Authority- Maharashtra (SEIAA)

15th Floor, New Administrative Building,
Fort, Madam Cama Road, Mumbai - 400032

Thro' : Member Secretary
Email ID : psec.env@maharashtra.gov.in
Phone : 02222819517

4 Maharashtra Pollution Control Board

Head Quarter, Near Chhatrapati Shivaji Terminus
Mumbai - 400001

Thro' : Member Secretary
Email ID : ms@mpcb.gov.in
Phone : 022-24010437

5 Municipal Corporation of Greater Mumbai (MCGM)

Maharashtra Forest Department,
Kalptaru Point, 3rd Floor, Near Sion Circle,
Opp. Cine Planet Cinema, Sion (E),
Mumbai - 400022

Thro' : Municipal Commissioner
Email ID : mc@mcmgm.gov.in
Phone : 022-22620525

6 M/s. Hilton Infrastructure

"Rubberwala House", Dr. Nair Road,
Opp. Agripada Police Station, Mumbai-400011

Project Site Office: CTS No.207, 1/207 & 208, at 122-138, Tardeo Division, D-Ward, 4042-46 & 4039, Shuklaji Street, Mumbai - 400008

Thro' : Partner / Director
Email ID : info@rubberwala.com
Phone :

DAIRY OF EVENTS

Sr	Date <i>y-m-d</i>	Particulars
1	2011/04/20	MCGM to Hilton Infrastructure Fire Protection and Fire Fighting NOC
2	2011/05/06	MMC to Hilton Infrastructure IOD
3	2014/08/19	MPCB to Hilton Infrastructure CTE
4	2015/03/30	SEAC to Hilton Infrastructure EC Letter
5	2021/08/26	MCGM to Hilton Infrastructure Fire Protection and Fire Fighting NOC
6	2021/12/27	MPCB to Hilton Infrastructure CTO Part-1
7	2021/09/22	SEIAA to Hilton Infrastructure EC Letter
8	2024/09/06	Hilton Infrastructure to MPCB Details for submission of BG
9	2025/10/11	Hilton Infrastructure to MPCB Application for CTO Renewal
10	2025/10/13	Hilton Infrastructure to MPCB Application for CTO Renewal
11	2025/12/26	Hilton Infrastructure to MPCB Reply of Scrutiny Letter
12	2025/02/21	Submission of Half Yearly EC Compliance Report Colly.

ABBREVIATIONS

Short	Full Form
CGWA	Central Ground Water Authority
CTE	Consent to Establish
CTO	Consent to Operate
DoE	Department of Environment
EC	Environmental Clearance
EIA	Environmental Impact Assessment
MCGM	Municipal Corporation of Greater Mumbai
MCGM	Municipal Corporation of Greater Mumbai
MMC	Mumbai Municipal Corporation
MoEFCC	Ministry of Environment Forest & Climate Change
MPCB	Maharashtra Pollution Control Board
OC	Occupancy Certificate
RTI	Right to Information Act
SEAC	State Empact Assessment Authority
SEIAA	State Level Environment Impact Assessment Authority
UoI	Union of India

**AFFIDAVIT IN REPLY OF
RESPONDENT NO. 6
M/S HILTON INFRASTRUCTURE**

1. I, Tabrez Shafi Ahmed Shaikh, age 48, am the Partner of company, and have the authority and knowledge to file this affidavit for and on behalf of the **Respondent No. 6 – 'M/s. Hilton Infrastructure'** industry (hereafter referred to as "**Respondent / PP**"), which I hereby do on solemn affidavit and oath.
2. The Respondent states that this is MHADA redevelopment project, where earlier tenants get the free accommodation in the new project in rehab wings and PP gets the additional FSI for construction for free sale. From the sale the redevelopment is free for the earlier tenants.
3. The project site is at Bilal Masjid, Sukhlalji Marg, opp. Chota Sonpur, off Maulana Shaukat Ali Road, Grant Road East, Siddharth Nagar, Girgaon, Mumbai, Maharashtra 400008. It is highly congested and populated area of Mumbai. The redevelopment was done within the plot of about 4245 m² with 'total covered built-up construction area including FSI and non-FSI' of about 43225 m². Location <https://maps.app.goo.gl/UMSSjwbyc3kwPPiU9>

Approval Type	Date of Issue	Valid Up to	Plot Area m ²	Total Built-up Area BUA m ²
Consent to Establish (C to E)	19/8/2014	18/08/2019	4,245.86	34,196.36
Environmental Clearance (EC)	30/3/2015	N/A	4,245.86	34,196.36
Revised EC	22/09/2021	N/A	4,245.86	43,225.41
Consent to Operate (C to O) (1st Part)	27/12/2021	30/09/2022	4,245.86	7,249.69 (part completed)

Construction Phase

4. The construction was done at site as per the conditions of the 'Environmental Clearance' of 2015 and 2021 and 'Consent to Establish' of 2014.
5. **MPCB has inspected the environmental amenities provided and granted the 'Consent to Operate' (Part) in 2021 for the rehab portion Building Wing B and C.**
 - The displaced tenants were hopefully and desperately in need to return to the completed rehab portion from the temporary accommodations. Hence only rehab portion was handed over to the earlier residents and occupants.



Photo 06/10/2011 before work started at site.

6. Respondent applied to MPCB for the 'Consent to Establish' as per the EC (Expansion) dated 22/09/2021. **Respondent has paid the penal fees / charges as**

per the MPCB circular and demand. If there are any dues or penalty, due to delay or the lapsed period, Respondent is willing to pay that.

7. The PP has applied for an Occupancy Certificate (OC) for the completed portion. But due to complaints, pending litigation in NGT and the stop work Directions issued by MPCB 20/10/2025, with copy & specific instruction to MCGM, the OC has not been issued so far.
8. MPCB Official visited site on 03/10/2025, the Visit Report is submitted by MPCB in its Affidavit as Annexure-VI.. Out of these only Point No. 10 and 12 are related to environment.

MPCB Affidavit - Annexure VI

Visit Report 03/10/2025

Any Specific Observation:

1. Visited to above infra-Project on 03.10.2025.
2. PP has obtained Consent to establish form Board on 19/08/2014 for TPA-4254.86 sqm. & TBUA 34196.36 sqm. which is valid up to 18/08/2019 after that does not revalidate the same.
3. As per Consent to establish PP has submitted BG of Rs. 5/-, 10/- & 21- lakhs which are valid up to 18/12/2020 after that does not revalidate the same.
4. PP has obtained EC on 30/03/2015 for TBUA-34196.36 sqm. & TPA of 4245.86 sqm.
5. PP has obtained revised EC on 22/03/2021 for TPA-4245.86 sqm. & TBUA of 43225.41 sqm. As per revised EC PP has not obtained C to E.
6. During visit It is observed that PP has completed work of rehab building having two wing's as B & C and handed over to tenants. Configuration of the B building Is 2B+G+ 13 & C-building 2B+G+9 however PP has completed up to 8th floor as Informed by PP.
7. PP has obtained part consent to operate on

27/U/2021 fort BUA of 7249.69 sqm. Valid up to 30/09/2022 **after that not applied for renewal of the same.**

8. As per part consent to operate PP has not submitted BG of Rs. 10. 2/- lakhs & Rs. 5.956/- Lakhs.
 9. PP has applied for consent to establish vide UAN No. 133581 on 20/08/2022 for TBUA-35957. 72 sqm. Which was refused by Board on 28/03/2023.
 - 10. PP has provided STP of 60 CMD with MBBR technology to rehab buildings & OWC for treatment of organic waste however both are not in operation during visit.**
 11. Generated Sewage connected to MCGM drainage line & wet, dry garbage handed over to MCGM.
 - 12. Not provided solar system, till not provided recreational ground area at site.**
 13. Provided two underground tanks for the storage of rain water however unable to give details of the same.
 14. PP has completed construction of sale building. Having two wings A.1 & A.2. having configuration of both wings as 2b + G+ 1 UF + 2nd to 5th podium + 6th to 32 UF. Internal work Is ongoing. STP work is in progress.
 15. Given possession to 14 no. of shops in sale building area.
 - 16. Unable to collect the untreated sewage sample as It Is directly connected to MCGM drainage.**
 17. PP shall submit architect certificate for completed construction BUA on site. Acknowledge copy of six-monthly EC compliance report. OC of Rehab & sale buildings. details of rainwater harvesting on Priority.
- 9.** The reasons for Closure Directions mentioned are as follows. **The reasons from 1 to 4 are non-environmental reasons.** Whereas other reasons had no bearing to the CTE for the construction. (Explained further in detail). **[■ Ax. A, Page 644]**

AND WHEREAS, The Board official visited your site to verify the compliance and reported as below -

1. After expiry of Bank Guarantee of Rs. 10.00/- Lac + 2.00/- Lac as per Consent to Establish dated 19/08/2014, you have not revalidated the same.
 2. Your application for revalidation of Consent to Establish refused by the Board on 28/03/2023, you have not applied / obtained consent there after and carried out construction activity.
 3. After expiry of part Consent to Operate dated 27/12/2021, not revalidated are the same.
 4. As per part Consent to Operate dated 27/12/2021 you have not submitted BG of Rs. 10.00/- Lac + 2.00/- Lac + 5.956/- Lac i.e. total BG of Rs. 17.956 Lac.
 5. *During visit to your site on 03/10/2025, sewage treatment plant was not in operation and untreated sewage being disposed in MCGM drainage line.*
 6. *OWC provided for the treatment of organic waste was not in operation.*
 7. *As per environment clearance conditions you have not provide solar system, recreational ground area, rainwater harvesting system at site.*
- 10.** Thereafter, MPCB issued Directions u/s.33A & 31A of the Water/Air Acts dated **20/20/2015**, which stated, *“Therefore, you are hereby directed to stop your ongoing construction activity forthwith, failing which, the Board will initiate appropriate legal action against you, which please note.”*. As can be seen from the references in that letter, **no Show Cause Notice was issued. No personal hearing was granted. The Closure Directions were issued ex-parte, unilaterally without hearing Respondent.** The copies of this directions were also send to MCGM stating *“You are requested not to issue Commencement certificate/Occupancy Certificate (OC) for the said construction project and issue stop work for on going*

construction activity and submit action taken report.”.

- 11. Respondent had handed over the possession of the rehab portion to its occupants, after obtaining the ‘Consent to Operate’.** All utilities with it such as lift, water pumping station, etc. has been handed over to rehab occupants. However, as a handholding exercise, when it was realised that they cannot manage them, the expenses for the agency are still being borne and paid by the Respondent. It shows that PP has all the intensions to provide the STP, OWC and all amenities.
- 12.** Respondent is under obligation and duty bound to provide everything as stipulated in the EC and CTE. **The Respondent as a responsible PP will comply and provide all environmental features, along with the completion of the project.** However, the project is not yet complete and is under construction. The construction activity on site is going on. The available on-site meagre space is being used for storing the construction material and on-going construction activity. Further, these features if constructed now, will get damaged and/or stolen during the construction. These features can also obstruct the movement of the vehicle, manpower and on-site working.
- 13.** The Respondent states that everything will be provided i.e. tree plantation, rainwater harvesting system, solar panels, LED lighting, clear passage for vehicle movement, without cutting corners. **STP and OWC has been already provided for the rehab building which is occupied.** There will be separate additional STP for the sale portion of wings. The operation of these amenities will be responsibility of the “occupants” by

provisions of the Act. However, as stated above, till complete handover is done, the agency is being paid by the PP.

- 14. Sewage Treatment Plant (STP):** The earlier tenants now accommodated in the rehab buildings B & C, used to discard everything through WC toilets. As such STP gets clogged, jam and overburdened with unexpected material. The "occupants" are now adopting to the new better environment with do's & don'ts in this new set-up. After recommissioning of the STP now it is performing well. The current treated wastewater report is enclosed. **[■ Ax. B, Page 646]**
- 15. All the remaining features that need space and can obstruct the construction activity cannot be done in the limited space until the project construction activity is over.** When the project is complete and Respondent approaches for the 'Consent to Operate' for the entire duly completed project, it would be ensured by the PP and MPCB that all features, amenities and environmental safeguards are provided on site as stipulated without any shortcut. PP is unable to do any work at site due to MPCB's stop-work directions.
- 16.** The Respondent states that they have applied to MPCB and urged again and again to reinspect the site and issue the 'Consent to Establish' and revoke the stop-work order. **The letters written to MPCB are enclosed collectively. [■ Ax. C, Page 647]**
- 17.** After submitting all documents and complying with all issues raised, the MPCB officials are saying that as the OA 40/2025 is pending in the NGT, they are unable to further process the CTE and revoke the stop work order.

The Respondent urged that no **stay order** or **status quo** order has been issued by the Hon'ble National Green Tribunal in its any of the Daily Orders. As such keeping the application for CTE and decision on revocation of stop work order shall be desisting from MPCB's official duty and function. This will amount to reading the embargo from Hon'ble Tribunal which doesn't exist. The Respondent further urged to revisit the site and inspect the compliance by visit to office of MPCB SRO on 17/04/2026. The MPCB officials have assured that as soon as Field Officer resumes on Monday, the visit shall be done soon.

18. CURRENT STATUS AT SITE:

- a. **Rehab Buildings:** The PP has completed the Wing B and C and handed them over to tenants. MPCB has granted 'Consent to Operate' for that.



- b. **Sale Buildings:** Wing A1 and A2 construction is complete, and now internal work is ongoing.
 - **Possession has been given to earlier tenant shops – 14 nos. in the sale building area.**
- c. Based on these non-compliances, the MPCB issued Directions dated 20/10/2025 under Section 33A of the Water Act, 1974, and Section 31A of the Air Act, 1981, directing the PP to stop ongoing construction activities forthwith.
 - **Accordingly, PP stopped the construction work at site from 20/10/2025.**
- d. Copies of the direction were also sent to MCGM, requesting them not to issue a Commencement Certificate or Occupancy Certificate (OC) and to issue a stop work order for the ongoing construction activity. As such all the work at site has stopped.
- e. PP has complied with all the observations of the MPCB in the stop work Directions dated 20/10/2025.

PRELIMINARY OBJECTIONS TO OA

- 19. This OA is premature.** The construction at site is not complete. The Respondent will complete all work as stipulated in EC and CTE. **Environmental scenario at site now, is much better than what it was before.** It will be fully improved as per EC and CTE when the project is complete.
- 20.** There is no 'substantial question related to environment' resulting from the allegations made, as the project is still under construction.

21. The plural issues are bundled in one application and this is expressly prohibited as per Rule 14.
22. The reliefs sought are non-consequential in nature and are not to address the alleged violations or remediate the environment.

PERMISSIONS OBTAINED

23. The project is under MHADA Redevelopment Scheme of the old buildings that were sans any environmental amenities. The occupants were to be rehabilitated in the same place/plot. The Respondent has obtained various permissions from time to time as mentioned in the Index, enclosed collectively. [■ Ax. D, Page 651]
24. Respondent has obtained 'Consent to Establish', 'Environmental Clearance', revised EC and 'Consent to Operate' for the completed rehab project.
25. Respondent has applied for renewal of 'Consent to Establish' as per revised. **Respondent has paid the penal fees as per MPCB's Circular for the delay.** Respondent has given the BG. Respondent is ready and willing to pay the penal fees if any as per rules. [■ Ax. E, Page 702]

PRELIMINARY SUBMISSIONS

26. I say that the present Original Application is **misconceived, speculative, and devoid of any technical or scientific foundation**, and deserves to be dismissed at the threshold.
27. I deny each and every allegation, contention, inference, and averment made in the Application except those expressly admitted herein.

- 28.** The Applicant has **failed to place on record any Joint Committee Report, inspection report, environmental sampling data, or expert assessment**, which is a mandatory prerequisite for invoking the jurisdiction of this Hon'ble Tribunal for Environmental Damage Compensation or demolition.
- 29.** The Application seeks to **convert planning, consent-renewal, and regulatory issues into alleged environmental violations**, which is impermissible in law.

PARA-WISE REPLY

Para 1 to 3

Admitted to the extent of description only. Jurisdictional averments are denied insofar as inconsistent with law.

Para 4 (Substantial Questions of Law & Facts)

Denied. The questions framed are hypothetical and do not arise from any proven environmental damage.

Paras 5.1 to 5.4

Denied. The Applicants' self-proclaimed status does not dispense with the burden of proof. No locus exists without demonstrable environmental harm.

Paras 5.5 to 5.10 (EC 2015 & EC 2021 alleged ex-post facto nature)

Denied. The Environmental Clearance dated 30.03.2015 was granted after due appraisal. Allegations of deliberate avoidance or collusion are bald and reckless. Both these EC have reached finality after 90 days appeal period is over. There was no challenge filed against these ECs.

Paras 5.11 to 5.15 (RERA construction reports)

Denied. RERA percentage completion certificates are statutory disclosures and **cannot be treated as proof of illegal construction or environmental violation.**

Paras 5.16 to 5.20 (Expansion EC & CTO-I)

Denied. CTO-I was granted for completed built-up area. No evidence is produced to show operation of remaining structures without CTO. The CTO (Part) is not challenged in appeal and can't be challenged now. The "occupants" have occupied the building and taken over the possession of the buildings complete in all respect, including the responsibility of the amenities and utilities such as lift, water supply pumphouse, overhead tanks and ground storage tanks, STP, OWC, etc.

Even then, the Respondent is giving full financial support and bearing the cost of the agency and the staff employed.

Paras 6.1 to 6.3 (CTE / CTO gaps)

Denied. Mere lapse of consent does not automatically establish environmental damage. No proof of polluting activity is placed on record.

Paras 6.4 to 6.6 (EDC & penalties)

Denied. Environmental Damage Compensation has been mechanically calculated without any damage assessment, baseline data, or causal nexus.

Paras 6.7 to 6.17 (RG, STP, OWC, RWH, Solar, Trees, CGWA)

Denied. These are either planning compliances or rectifiable regulatory matters and cannot justify demolition or punitive compensation.

Paras alleging collusion

Strongly denied. No officer is impleaded personally; no proof of mala fides is produced.

REQUEST TO HON'BLE TRIBUNAL

30. In view of the above, it is prayed that this Hon'ble Tribunal may be pleased to:

- a.** Dismiss the Original Application with costs;
- b.** Alternatively, restrict the matter to regulatory review by statutory authorities without any punitive directions.

The Respondent requests that the application should be disposed of as there is no 'substantial question related to environment' and the Respondent is committed to comply with all the conditions of the 'Environmental Clearance' and 'Consent to Establish'.

Date: **18 April 2026**

Place: **Mumbai**




Tabrez Shafi Ahmed Shaikh
RESPONDENT NO.6




VERIFICATION AND AFFIDAVIT

I, Tabrez Shafi Ahmed Shaikh, age 48 years, hereby state that I have verified the contents of the submissions above. They are true and correct to be the best of my knowledge. I have not suppressed any relevant material facts. All the documents annexed are true copies. I have filed this affidavit after due verification and on solemn affirmation and oath.

Date: **18 April 2026**
Place: **Mumbai**



Tabrez Shafi Ahmed Shaikh
RESPONDENT NO.6



BEFORE ME

S. M. H. ZAIDI
NOTARY **20/4/26**
Government of India
Mumbai & Thane Dist.
20 APR 2026

NOTED & REGISTERED
Sr. No. **935** Page No. **78**
Book No. **7** Date **20 APR 2026**



MAHARASHTRA POLLUTION CONTROL BOARD		
Phone :	(022)- 25505928	
Fax :	(022)- 25505926	
Email :	romumbai@mpcb.gov.in	
Visit At :	http://mpcb.gov.in	
		Kalpataru Point, 2 nd floor, Sion- Matunga Scheme Road No. 8, Opp. Cine Planet Cinema, Near Sion Circle, Sion (E), Mumbai - 400 022

"Your Service is our Duty"

No: MPCB/RO/SO/- 251020 0002

Date: - 20/10/2025

To,
M/s. Hilton Infrastructure.
CCTS No.207, 1/207,208 of Tardeo Div.
Ward No. D-4042-46 and 4039 D ward,
Situated at 122-138, Shuklaji Street, Mumbai 400008.

Sub: Directions under section 33A of the Water (Prevention & Control of Pollution) Act 1974 & under Section 31A of the Air (Prevention & Control of Pollution) Act 1981.

- Ref:** 1. Consent to establish granted by Board dated 19/08/2014 which was valid up to 18/08/2019.
2. Environmental Clearance obtained on 30/03/2015 & revise Environmental Clearance obtained on 22/09/2021.
3. Refusal of application for revalidation of consent to establish vide UAN No. 133581 on 28/03/2023.
4. Part consent to operate granted on 27/12/2021 which was valid upto 30/09/2022.

AND WHEREAS, it is obligatory on your part to obtain Consent to Establish to your activity u/s 25/26 of the Water (Prevention & Control of Pollution) Act, 1974 and U/s 21 of the Air (Prevention & Control of Pollution) Act, 1981 before commissioning of the project and consent to operate before occupation of the building.

AND WHEREAS, The Board official visited your site to verify the compliance and reported as below -

1. After expiry of Bank Guarantee of Rs. 10.00/- Lac + 2.00/- Lac as per Consent to Establish dated 19/08/2014, you have not revalidated the same.
2. Your application for revalidation of Consent to Establish refused by the Board on 28/03/2023, you have not applied / obtained consent there after and carried out construction activity.
3. After expiry of part Consent to Operate dated 27/12/2021, not revalidated are the same.
4. As per part Consent to Operate dated 27/12/2021 you have not submitted BG of Rs. 10.00/- Lac + 2.00/- Lac + 5.956/- Lac i.e. total BG of Rs. 17.956 Lac.

T.C

1




5. During visit to your site on 03/10/2025, sewage treatment plant was not in operation and untreated sewage being disposed in MCGM drainage line.
6. OWC provided for the treatment of organic waste was not in operation.
7. As per environment clearance conditions you have not provide solar system, recreational ground area, rain water harvesting system at site.

AND WHEREAS, after examining all the reports and records available with this office, I have concluded that you are knowingly and willfully violating the provisions of the Water (Prevention & Control of Pollution) Act, 1974 & the Air (Prevention & Control of Pollution) Act, 1981.

Therefore, you are hereby directed to stop your ongoing construction activity forthwith, failing which, the Board will initiate appropriate legal action against you, which please note.

This direction is issued with the approval of a competent authority of the Board.

FOR & ON THE BEHALF OF MPC BOARD


(Sujit Dholam)
Regional Officer, Mumbai

Copy submitted for information to:

- 1) The Member Secretary, MPC Board, Mumbai
- 2) Regional Officer (BMW), MPC Board, Mumbai

Copy to :-

1. The Deputy Chief Engineer (Building and Proposal)- City New Municipal Building, C. S. No. 355/B, Bhagwar Walmiki Chowk, Vidyalavihar Marg, Opp. Hanuman Mandir, Antop Hill, Wadala (East), Mumbai
(dyche01bpcity.dp@mcmgm.gov.in),
2. Assistant Commissioner,
"D" Ward Municipal Office Building, Jobanputra Compound,
Nana Chowk, Grant Road (W), Mumbai - 400007 . (ac.d@mcmgm.gov.in)
3. Designated Officer / Ex. Engineer. D Ward, Mumbai.

- You are requested not to issue Commencement certificate/Occupancy Certificate (OC) for the said construction project and issue stop work for on going construction activity and submit action taken report.

Copy to Sub-Regional Officer (Mumbai-I), M.P.C. Board. - He is directed to serve copy of direction to industry & concern, take necessary follow-up towards compliance of the direction & submit Action taken report.

T.C





AIROCLEAN ASSOCIATES

ANALYST IN AIR, WATER POLLUTION & ENVIRONMENTAL CONSULTANT

* CERTIFIED BY ISO 9001:2015, ISO 45001 : 2018

TEST REPORT

Report No.	AA/04/26/61	Report Date :	04/04/2026
Name of client	M/s. RUBBERWALA FUEGO- HILTON INFRASTRUCTURE BYCULLA.		
Address of client	Mahape, Navi Mubai, Maharashtra		
Laboratory ID No.	AA/LAB/04/26/61	Sample Done By	Client
Sample Name	STP	Sample Location	STP Outlet
Container Used	PVC Can	Sample Quantity	2000 ml
Date of Sampling	01/04/2026	Sample Receipt Date	01/04/2026
Analysis started on	01/04/2026	Analysis Complete Date	03/04/2026
Environmental condition	Temp.(°C) : 32.1	Humidity (%) :	50 RH

CHEMICAL PARAMETERS

Sr.No.	Parameter	Result	Unit	Limit (MPCB)	Method
1	pH	7.23	-	NS	APHA-4500-II -B
2	BOD (27°C 3 day)	10.0	mg/l	NS	IS 3025 (part 44) :1993(RA 2014)
3	COD	26.0	mg/l	NS	APHA - 5220 Bs
4	Total Suspended Solids	6.0	mg/l	NS	APHA - 2540-D
5	Total Dissolved Solids	586.0	mg/l	NS	APHA-2540-C
5	Oil & Grease	< 2.0	mg/l	NS	APHA 5520-B
6	Ammonical Nitrogen	2.8	mg/l	NS	IS 3025 part34/(sec.1)2023
7	Nitrate as NO ₃	12.2	mg/lit	NS	APHA 4500 NO ₃ -B

NOTE :

- 1) The above results relate only to the condition prevailing at the time of sampling
- 2) The above results relate only to the item tested
- 3) This certificate may not be reproduced in part, without the permission of this laboratory.
- 4) Sample will be retain 15 days from date of report dispatch
- 5) BDL: Below detection Level

Tested by

(Signature)
(Analyst)



Approved by

(Signature)
(Tech Manager)

- End Of Report -

Page 1/1

T.C

(Signature)

To,

Date: 31-10-2025

The Regional Officer,

Maharashtra Pollution Control Board,

Kalpataru Point, 1st floor, Opp. PVR Theatre,

Sion (E), Mumbai-400 022

Subject: Environment Compliances on Plot bearing C.S. No. 207, 1/207, 208, of Tardeo Division, D ward, Situated Shukhlaji street, Mumbai 400 004

Ref:-MPCB/RO/SO/-2510200002 Dated:-20-10-25 (Received. On dated:- 27-10-2025)

Respected Sir,

Referring to your recent site visit and the letter received from your office, we are pleased to submit our point wise responses to the observations noted:☒

Consent to Establish (Expansion) – Bank Guarantees

We had applied for *Consent to Establish (Expansion)* as per the revised Environmental Clearance, and the scrutiny for the same has been completed. During the process, MPCB instructed us to submit bank guarantees, which we had already submitted at the time of the earlier Consent. However, those bank guarantees have since expired.

We requested MPCB to return the expired bank guarantees so that we could revalidate and resubmit them; however, we haven't received that bank guarantees. Subsequently, we submitted a letter again requesting the return of the expired guarantees, stating that the Consent to Establish application is on hold due to the non-return of the old guarantees. Our bank has also sent a letter to MPCB requesting the return of the said bank guarantees.

1. Consent to Operate (Revalidation)

We have applied for the *Revalidation of the Consent to Operate*, and a copy of the application is attached herewith for your reference.

2. Submission of Bank Guarantees

We had already submitted the bank guarantees at the time of obtaining the earlier Consent. However, those bank guarantees have since expired. We requested the MPCB to return the expired bank guarantees so that we could revalidate and resubmit them; however, we have not yet received them. Subsequently, we submitted another letter requesting the return of the expired bank guarantees, and our bank has also sent a letter to MPCB regarding the same. We are now submitting new bank guarantees in order to facilitate the return of the previously submitted expired ones. Please find attached the letters submitted by us and by our bank regarding the return of the expired bank guarantees

3. STP and OWC Operation Status

The Sewage Treatment Plant (STP) was operational earlier and We had received partial consent to operate because of this. However, during your recent visit, the system was temporarily shut

T.C



down due to certain technical issues and maintenance requirements. The issues have now been resolved, and the STP is fully operational.

The Organic Waste Converter (OWC) was properly installed and was in working condition at the time of installation. However, it could not be operated effectively because tenants were not segregating wet and dry waste at the source as required. Due to the mixing of non-biodegradable waste, the OWC could not be used properly for processing, which eventually led to its non-functional condition.

We have already instructed and advised the tenants to strictly follow waste segregation guidelines so that the OWC can be properly utilized. The OWC is now operational.

4. Solar Panel Installation

The project is currently ongoing, and the construction of the sale building is not yet fully completed. Necessary provisions for the installation of solar panels have already been made, and we undertake to ensure full compliance once construction is completed.

5. Rainwater Harvesting (RWH) System

The project is ongoing, and construction of the sale building is yet to be fully completed. Necessary provisions for the rainwater harvesting tank have been made, and the RCC work has already been completed. We assure you that the rainwater harvesting system will be made fully operational upon completion of the overall construction.

6. Recreational Ground (RG) Area Development

The construction of the sale building is yet to be fully completed, and material vehicles are still moving within the plot area. Therefore, if the RG area is provided at this stage, it may get damaged. Since the project is ongoing, we assure you that the RG area will be developed in accordance with the Environmental Clearance conditions upon completion of construction.

We sincerely regret any inconvenience caused during your inspection and request your kind understanding in this matter. We kindly request you to allow us some time to complete the remaining compliances, which are currently in progress.

Enclosed:

1. Request letter to return Bank guarantee
2. Letter Sent By bank
3. Revised Applications submitted for Consent to establishment Revalidation and Expansion
4. Application submitted to Consent to operate.

Thanking you,

Yours faithfully,

TABREZ
SHAFI
AHMED
SHAIKH

[For-Hilton Infrastructure]

(Authorized Signatory)

HILTON INFRASTRUCTURE

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

To,

Date: 9-01-2026

The Regional Officer,

Maharashtra Pollution Control Board,

Kalpataru Point, 1st floor, Opp. PVR Theatre,

Sion (E), Mumbai-400 022

Subject: Request for Withdrawal of Stop Work Notice on Plot bearing C.S. No. 207, 1/207, 208, of Tardeo Division, D ward, Situated Shukhlaji street, Mumbai 400 004

Ref:-MPCB/RO/SO/-2510200002 Dated:-20-10-25

Respected Sir,

With reference to the above-mentioned Stop Work Notice issued by your good office and further referring to the site visit conducted by your officers, we hereby submit our point-wise compliance and responses to the observations raised:

1. Consent to Establish (Revalidation/Expansion).

We had applied for Consent to Establish (Expansion) as per the revised Environmental Clearance, and the scrutiny for the same has been completed. During the process, the MPCB instructed us to submit the required Bank Guarantees, which had already been submitted at the time of our earlier Consent. However, those Bank Guarantees have since expired. We had requested MPCB to return the expired Bank Guarantees so that we could revalidate and resubmit them. Subsequently, we submitted another letter reiterating our request for the return of the expired guarantees and informed that our Consent to Establish application is on hold due to non-receipt of the old guarantees. **We have resubmitted our application for Consent to Establish (Expansion) in continuation of the earlier process and request your kind consideration and necessary action in this regard.**

2. Consent to Operate (Revalidation)

We have submitted the application for CTO revalidation and same is now under process.

3. Submission of Bank Guarantees

As per the circular issued by MPCB, submission of Electronic Bank Guarantee (E-BG) is compulsory, and physical Bank Guarantees are no longer accepted. Accordingly, we approached our existing bank; however, they are unable to provide E-BG facilities. Therefore, we approached another bank, opened a new account, and applied for issuance of the E-BG. Due to technical difficulties at the bank's end, there was some delay.

Now we would like to inform you that we have submitted E-BG's to MPCB.

4. STP Operation Status

The Sewage Treatment Plant (STP) of the **Rehabilitation Building** was operational earlier, and

accordingly, Part Consent to Operate was granted. However, during your recent visit, the system was found non-functional due to certain technical issues and maintenance requirements. These issues have now been resolved, and the STP is currently operational. We would also like to state that the construction of the Sale Building is not yet completed. However, provisions for a separate **STP for the Sale Building** have been made, and the same will be made operational upon completion of the project.

5. **OWC Operation Status**

During the site inspection carried out by the officers of your esteemed office, it was observed that the Organic Waste Converter (OWC) were not operational due to certain technical issues. In this regard, we respectfully submit that all the technical issues have now been resolved, and the OWC is fully operational. The systems are presently functioning satisfactorily.

6. **Solar Panel Installation**

The project is currently ongoing, and the construction of the sale building is not yet fully completed. Necessary provisions for the installation of solar panels have already been made, and we undertake to ensure full compliance once construction is completed.

7. **Rainwater Harvesting (RWH) System**

The project is ongoing, and construction of the sale building is yet to be fully completed. Necessary provisions for the rainwater harvesting tank have been made, and the RCC work has already been completed. We assure you that the rainwater harvesting system will be made fully operational upon completion of the overall construction.

8. **Recreational Ground (RG) Area Development**

The construction of the sale building is yet to be fully completed, and material vehicles are still moving within the plot area. Therefore, if the RG area is provided at this stage, it may get damaged. Since the project is ongoing, we assure you that the RG area will be developed in accordance with the Environmental Clearance conditions upon completion of construction.

In view of the above, we humbly request your good office to kindly consider our submission favorably and withdraw the Stop Work Notice issued for the said project. Due to the Stop Work Notice, construction activities at the site are currently not operational, which is causing delays in the completion of the project. We assure you of our full cooperation at all times and remain ready to submit any additional information, documents, or clarifications as may be required by your office.

We respectfully request your kind consideration and approval to allow the resumption of work at the earliest.

Thanking you,

Yours faithfully,

[For-Hilton Infrastructure]

(Authorized Signatory)

T.C



Form 16
88

in replying please quote No.
and date of this letter.

Ex. Eng. Bldg. Proposal (City) - I
'E' Ward, Municipal Office, 3rd Floor,
10, S. K. Hafizuddin Marg, Byculla,
Mumbai - 400 008.

**Intimation of Disapproval under Section 346 of the Mumbai
Municipal Corporation Act, as amended up to date.**

No. E.B./CE/ **EB/8814/D/A** BS/A of 200 - 200

DKC-5-2011

MEMORANDUM

M/s. Hilton Infrastructure,
52/53, Harbour Crest Building,
ground floor, Shivdas Champsai Road,
Mazgaon, Mumbai 400 010

Municipal Office,
Mumbai200

With reference to your Notice letter No. **004307** dated **25.10.2000** and delivered on **25.10.2010** and the plans, Sections Specifications and Description and further particulars and details of your buildings at **C.S.No.1/207,207 & 208 of Tardeo division situated at shuklaji street, Mumbai 400 008** furnished to me under your letter, dated **25.10.2008**. I have to inform you that I cannot approval of the building or work proposed to be erected or executed, and I therefore hereby formally intimate to your, under Section 346 of the Bombay Municipal Corporation Act as amended upto-date, my disapproval by thereof reasons :-

A) THAT THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE COMMENCEMENT OF THE WORK UPTO PLINTH LEVEL.

1. That the commencement certificate under Section 44/69(1)(a) of the M.R.T.P. Act will not be obtained before starting the proposed work.
2. That the builder / developer / owner shall not prepare a "debris management plan" showing the prospective quantum of debris likely to be generated, arrangements for its proper storage at the site, transportation plan of the agency appointed for the same, with numbers and registration numbers of vehicles to be deployed and the final destination where the debris would be unloaded by them and submit the same to the Zonal Executive Engineer of S.W.M. Department and the same shall not be got approved before demolition of existing building or commencing any construction activity.
3. That the compound wall is not constructed on all sides of the plot clear of the road widening line with foundation below level of bottom of road side drain without obstructing the flow of rain water from the adjoining holding to prove possession of holding before starting the work as per D.C. Regulation No.38(27).
4. That the structural engineer will not be appointed. Supervision memo as per Appendix-XI [Regulation 5(3) (ix)] will not be submitted by him.

T.C

[Signature]

() That proper gutters and down pipes are not intended to be put to prevent water dropping from eaves of the roof on the public street.

() That the drainage work generally is not intended to be executed in accordance with the Municipal requirements.

Subject to your so modifying your intention as to obviate the before mentioned objections and meet by requirements, but not otherwise you will be at liberty to proceed with the said building or work at anytime before the5..... day of May 2012 200 , but not so as to contravene any of the provision of the said Act, as amended as aforesaid or any rule, regulations or bye-law made under that Act at the time In force.

Your attention is drawn to the Special Instructions and Note accompanying this Intimation of Disapproval.

S. Ramappa
6-5-2011
Executive Engineer, Building Proposals,
Zone, City-1 Words.

SPECIAL INSTRUCTIONS

(1) THIS INTIMATION GIVES NO RIGHT TO BUILD UPON GROUND WHICH IS NOT YOUR PROPERTY.

(2) Under Section 68 of the Bombay Municipal Corporation Act, as amended, the Municipal Commissioner for Greater Mumbai has empowered the City Engineer to exercise, perform and discharge the powers, duties and functions conferred and imposed upon and vested in the Commissioner by Section 346 of the said Act.

(3) Under Byelaw, No. 8 of the Commissioner has fixed the following levels:--

"Every person who shall erect a new domestic building shall cause the same to be built so that every part of the plinth shall be--

"(a) Not less than 2 feet (60 cms.) above the centre of the adjoining street at the nearest point at which the drain from such building can be connected with the sewer than existing or thereafter to be laid in such street"

"(b) Not less than 2 feet (60 cms.) above every portion of the ground within 5 feet (160 cms.) of such building.

"(c) Not less than 92 ft. () meters above Town Hall Datum."

(4) Your attention is invited to the provision of Section 152 of the Act whereby the person liable to pay property taxes is required to give notice of erection of a new building or occupation of building which has been vacant, to the Commissioner, within fifteen days of the completion or of the occupation whichever first occurs. Thus compliance with this provision is punishable under Section 471 of the Act irrespective of the fact that the valuation of the premises will be liable to be revised under Section 167 of the Act, from the earliest possible date in the current year in which the completion or occupation is detected by the Assessor and Collector's Department.

(5) Your attention is further drawn to the provision of Section 353-A about the necessity of submitting occupation certificate with a view to enable the Municipal Commissioner for Greater Mumbai to inspect your premises and to grant a permission before occupation and to levy penalty for non-compliance under Section 471 if necessary.

(6) Proposed date of commencement of work should be communicated as per requirements of Section 347 (1) (aa) of the Bombay Municipal Corporation Act.

(7) One more copy of the block plan should be submitted for the Collector, Mumbai Suburbs District.

(8) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the site that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes Accompanying this Intimation of Disapproval.

- 2(a) -
EB/ 5814/ D/A

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Contd... (A).

5. That the structural design and calculations for the proposed work accounting for seismic analysis as per relevant I.S. Code and for existing building showing adequacy thereof to take up additional load alongwith bearing capacity of the soil strata will not be submitted before C.C.
6. That the regular/sanctioned/proposed lines and reservation will not be got demarcated at site through A.E.(Survey)/ E.E.(T&C)/ E.E.(D.P.)/ D.I.L.R. before applying for C.C.
7. That the sanitary arrangements shall not be carried out as per Municipal Specifications, and drainage layout will not be submitted before C.C.
8. That the Registered Undertaking and additional copy of plan shall not be submitted for agreeing to hand over the setback land free of compensation and that the setback handing over certificate will not be obtained from Ward officer before demanding C.C. and that the ownership of the setback land will not be transferred in the name of M.C.G.M. before C.C.
9. That the Indemnity Bond indemnifying the Corporation for damages, risks, accidents, to the occupiers and an Undertaking regarding no nuisance will not be submitted before C.C./starting the work.
10. That the existing structure proposed to be demolished will not be demolished or necessary Phase Programme with agreement will not be submitted and got approved before C.C.
11. That the basement will not comply with the Basement Rules and Regulation and Registered Undertaking for not misusing the basement will not be submitted before C.C.
12. That the qualified/Registered Site supervisor through Architect/Structural Engineer will not be appointed before applying for C.C.
13. That All Dues Clearance Certificate from A.E.W.W. D Ward shall not be submitted before issue of C.C.
14. That the premium/deposits as follows will not be paid -
 - a. Staircase / Lift area benefit.
 - b. Development charges as per M.R. & T.P.(Amendment) Act, 1992
 - c. Balcony enclosure fees.
 - d. Insecticide charges.
 - e. Payment of advance for providing treatment of construction site to prevent epidemic like dengue, malaria etc. to insecticide charges ' Ward.
15. That the registered undertaking in prescribed proforma agreeing to demolish the excess area if constructed beyond permissible F.S.I. shall not be submitted before asking for C.C.

16. That the work will not be carried out strictly as per approved plan and in conformity with the D.C.Regulations in force.
17. That the N.O.C. from Tree authority shall not be submitted before asking for plinth C.C.
18. That the Registered Undertaking shall not be submitted for agreeing to pay the difference in premium paid and calculated as per revised land rates.
19. That the Janata Insurance policy or policy to cover the compensation claims arising out of Workmen's Compensation Act,1923 will not be taken out and a copy of the same will not be submitted before asking C.C. and renewed during the construction of work.
20. That the N.O.C. from B.E.S.T. for sub station shall not be submitted.
21. That the fresh Tax Clearance Certificate from A.A. & C 'D' Ward shall not be submitted.
22. That letter from M.B.R.& R. Board confirming the exact surplus area to be surrendered to M.B.R.& R. Board shall not be submitted and amended plans shall not be submitted and got approved accordingly.
23. That the Regd. U/T against misuse of pocket terrace / part terrace / stilt shall not be submitted.
24. That the footpath in front of plot shall not be repaired / restored once in a year or before occupation whichever is earlier.
25. That the Indemnity bond against no nuisance due to contravening toilets shall not be submitted.
26. That the Indemnity Bond indemnifying M.C.G.M. against disputes, litigations, claims, arising out of ownership of plot shall not be submitted.
27. That the remarks from H.E. Department shall not be submitted.
28. That the debris shall not be dumped on the Municipal ground only.
29. That the board displaying the details of development of the work shall not be displayed at site.
30. That the N.O.C. from Dy.Ch.E.(S.P.) P&D for proposed sewer line shall not be submitted before C.C.
31. That the Regd. U/T for apprising the prospective buyers regarding contravening toilets shall not be submitted before C.C.
32. That the copy of PAN card of the applicant shall not be submitted before C.C.

33. That the precautionary measures to avoid dust nuisance such as erection of G.I. sheet screens at plot boundaries upto reasonable height shall not be provided before demolition of existing structures at site.
34. That the fresh P.R.Card in the name of owner shall not be submitted before C.C.
35. That the construction activity for work of necessary piling shall not be carried out by employing modern techniques such as rotary drilling, micropiling etc. instead of conventional jack and hammer to avoid nuisance damage to adjoining buildings.
36. That the N.O.C. from MHADA shall not be submitted before C.C.
37. That the N.O.C. from E.E.T. & C. shall not be obtained for the parking before C.C.
38. That Regd. U/T for minimum Nuisance during construction activity shall not be submitted before C.C.
39. That the work shall not be carried out between 7.00 A.M. to 7.00 P.M. only.
40. That the G.I. Sheet screens at plot boundaries upto adequate height to avoid dust nuisance shall not be provided before demolition of existing building.
41. That the precautionary measures to avoid nuisance duct to dust, such as providing G.I. Sheets at plot boundaries up to reasonable height shall not be taken.
42. That the C.C. shall not be asked unless payment of advance for providing treatment at construction site to prevent epidemics like Dengue, Malaria, etc. is made to the Insecticide Officer of the concerned Ward Office and provision shall be made as and when required by Insecticide Officer for inspection of water tanks by providing safe and stable ladder, etc. and requirements as communicated by the Insecticide Officer shall be complied with.
43. No main beam in a R.C.C. framed structure shall not be less than 230 mm wide. The size of the columns shall also not be governed as per the applicable I.S. codes.
44. All the cantilevers (Projections) shall not be designed for five times the load as per IS Code 1993-2002 including the columns projecting beyond the terrace and carrying the overhead water storage tank, etc.
45. In R.C.C. framed structures, the external walls shall not be less than 230 mm if in brick masonry or 150 mm. autoclaved cellular concrete block excluding plaster thickness as circulated under No. CE/PD/11945/1 of 2.2.2006.
46. That the facilities for physically handicapped persons shall not be provided as per the accompaniment in Govt. in U.D. Department notification No. TPB 432001/1829/CR-216/2001/UD-11 dated 2nd December 2003.

47. That Regd. U/T for handing over setback area for the balance portion of the plot not covered under this proposal as & when required by M.C.G.M. shall not be submitted.
48. That the specification & design of Rain Water Harvesting scheme as per the State Govt.'s directives u/No.TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be submitted.
49. That the feasibility of providing the basement from Geologist on the plot under reference shall not be submitted.
50. That the Regd. Undertaking shall not be submitted by the Owner / Developer / Builder to sell the tenements / flats on carpet area basis only and to abide by the provisions of Maharashtra Ownership Flats (Regulation of the promotion of construction, sale management and transfer) Act (MOFA), amended up to date and the Indemnity Bond indemnifying the M.C.G.M. and its Officers from any legal complications arising due to MOFA will not be submitted.

(B) THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE FURTHER C.C. OF SUPER STRUCTURE :

1. That the plinth dimensions shall not be got checked from this office before asking for further C.C. beyond plinth.
2. That the Structural stability certificate through Regd. Structural Engineer regarding stability of constructed plinth shall not be submitted before asking for C.C. beyond plinth.

(C) THE FOLLOWING GENERAL CONDITIONS TO BE COMPLIED WITH BEFORE GRANTING O.C.C. TO ANY PART OF THE PROPOSED BUILDING :

1. That some of the drains will not be laid internally with C.I. Pipes.
2. That the dust-bin will not be provided as per C.E.'s circular No.CE/9297/II of 26-6-1978.
3. That the surface drainage arrangement will not be made in consultation with E.E.(SWD) or as per his remarks and a completion certificate will not be obtained and submitted before applying for occupation certificate/B.C.C.
4. That the existing well will not be covered with R.C.C. slab.
5. That 10'-0" wide paved pathway upto staircase will not be provided.
6. That the surrounding open spaces, parking spaces and terrace will not be kept open and un-built upon and will not be leveled and developed before requesting to grant permission to occupy the building or submitting the B.C.C. whichever is earlier.

7. That the name plate/Board showing Plot No., name of the building etc. will not be displayed at a prominent place.
8. That carriage entrance shall not be provided.
9. That the parking spaces shall not be provided as per D.C. Regulation No.36.
10. That B.C.C. will not be obtained and I.O.D. and debris deposit etc. will not be claimed for refund within a period of 6 years from the date of its payment.
11. That the N.O.C. from Inspector of Lifts, P.W.D., Maharashtra, will not be obtained and submitted to this office.
12. That the Drainage completion certificate from (S.P.)(P&D)City for provision of Septic Tank/Soak pit will not be submitted.
13. That the Drainage completion Certificate from A.E.(B.P.) City for House drain will not be submitted & got accepted.
14. That every part of the building construction and more particularly overhead tank will not be provided as with the proper access for the staff of Insecticide Officer with a provision of temporary but safe and stable ladder etc.
15. That final N.O.C. from MHADA/ C.F.O./ Tree Authority shall not be submitted before asking for occupation permission.
16. That the Fresh property card in the name of the owner shall not be submitted.
17. That the vermiculture bins for the disposal of wet waste as per design and specifications of organization or companies specialized in this field as per list furnished by Solid waste Management of M.C.G.M. shall not be provided.
18. That the installation of Rain Water Harvesting scheme as per the State Govt.'s directives U/No. TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be provided before applying for occupation permission.
19. That the recycling plant for waste water shall not be provided.
20. That the completion of footpath, providing central dividers, lane marking and providing steel furniture shall not be completed.

(D) THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE B.C.C.:

1. That certificate under Section 270-A Of M.M.C. Act will not be obtained from H.E.'s Department regarding adequacy of water supply.

H. Ramagal
6-5-2011
Executive Engineer
Building Proposals (City)-I

No. EB/5814/D/A

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nr (-5-1)

No. EB/CE/

/BS

/A/

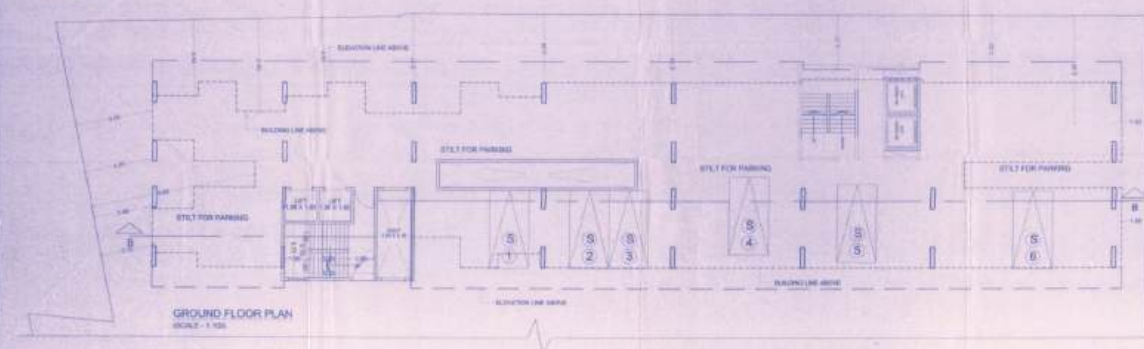
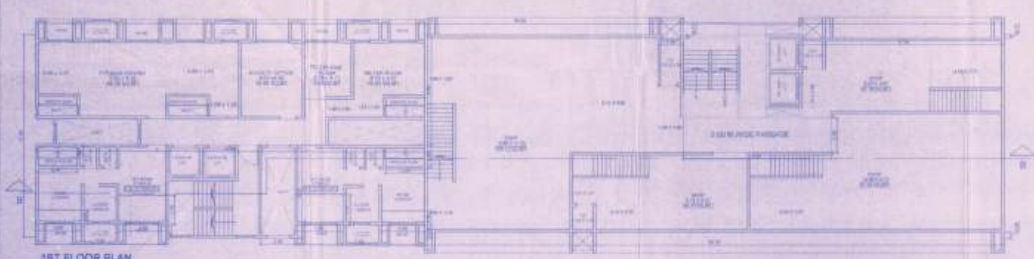
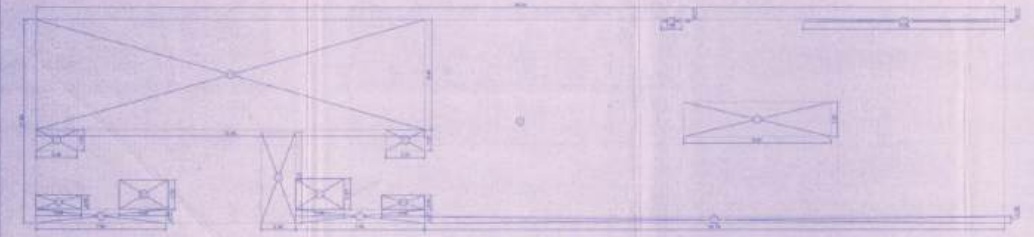
NOTES

- (1) The work should not be started unless objections are complied with
- (2) A certified set of latest approved plans shall be displayed on site at the time of commencement of the work and during the progress of the construction work.
- (3) Temporary permission on payment of deposit should be obtained any shed to house and store for constructional purposes, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional material shall be demolished before submission of building completion certificate and a certificate signed by Architect submitted along with the building completion certificate.
- (4) Temporary sanitary accommodation on full flushing system with necessary drainage arrangement should be provided on-site workers, before starting the work.
- (5) Water connection for constructional purpose will not be given until the hoarding is constructed and application made to the Ward Officer with the required deposit for the construction of carriage entrance, over the road side drain.
- (6) The owners shall intimate the Hydraulic Engineer or his representative in Wards at least 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised for their construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presumed that Municipal tap water has been consumed on the construction works and bills preferred against them accordingly.
- (7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks metal, sand preps debris, etc. should not be deposited over footpaths or public street by the owner/ architect/their contractors, etc. without obtaining prior permission from the Ward Officer of the area.
- (8) The work should not be started unless the manner in obviating all the objection is approved by this department.
- (9) No work should be started unless the structural design is approved.
- (10) The work above plinth should not be started before the same is shown to this office Sub-Engineer concerned and acknowledgement obtained from him regarding correctness of the open spaces & dimension.
- (11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporation will require time to consider alternative site to avoid the excavation of the road and footpath.
- (12) All the terms and conditions of the approved layout/sub-division under No. of should be adhered to and complied with.
- (13) No Building/Drainage Completion Certificate will be accepted non water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the Municipal Commissioner as per the provision of Section 345 of the Bombay Municipal Corporation Act and as per the terms and conditions for sanction to the layout.
- (14) Recreation ground or amenity open space should be developed before submission of Building Completion Certificate.
- (15) The access road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of Municipal Commissioner including asphaltting lighting and drainage before submission of the Building Completion Certificate.
- (16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.
- (17) The surrounding open spaces around the building should be consolidated in Concrete having broken glass pieces at the rate of 125 cubic meters per 10 sq. meters below payment.
- (18) The compound wall or fencing should be constructed clear of the road widening line with foundation below level of bottom of road side drain without obstructing flow of rain water from adjoining holding before starting the work to prove the owner's holding.
- (19) No work should be started unless the existing structures proposed to be demolished are demolished.

- (20) This Intimation of Disapproval is given exclusively for the purpose of enabling you to proceed further with the arrangements of obtaining No Objection Certificate from the Housing commissioner under Section 13 (i) (H) of the Rent Act and in the event of your proceeding with the work either without an intimation about commencing the work under Section 347 (1) (aa) or your starting the work without removing the structures proposed to be removed the act shall be taken as a severe breach of the conditions under which this Intimation of Disapproval is issued and the sanctioned will be revoked and the commencement certificate granted under Section 45 of the Maharashtra Regional and Town Planning Act, 1966, (12 of the Town Planning Act), will be withdrawn.
- (21) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the City Engineer is satisfied with the following :-
- (i) Specific plans in respect of evicting or rehousing the existing tenants on hour stating their number and the area in occupation of each.
 - (ii) Specifically signed agreement between you and the existing tenants that they are willing to avail or the alternative accommodation in the proposed structure at standard rent.
 - (iii) Plans showing the phased programme of construction has to be duly approved by this office before starting the work so as not to contravene at any stage of construction, the Development control Rules regarding open spaces, light and ventilation of existing structure.
- (22) In case of extension to existing building, blocking of existing windows of rooms deriving light and its from other sides should be done first before starting the work.
- (23) In case of additional floor no work should be start or during monsoon which will same arise water leakage and consequent nuisance to the tenants staying on the floor below.
- (24) the bottom of the over hand storage work above the finished level of the terrace shall not be more than 1 metre.
- (25) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary is obtained.
- (26) It is to be understood that the foundations must be excavated down to hard soil.
- (27) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying of drains inside the building.
- (28) The water arrangement must be carried out in strict accordance with the Municipal requirements.
- (29) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing of the Municipal Commissioner for Greater Mumbai, as required in Section 381-A of the Municipal Corporation Act.
- (30) All gully traps and open channel drains shall be provided with right fitting mosquito proof covers made of wrought iron plates or hinges. The manholes of all jisterns shall be covered with a properly fitting mosquito proof hinged cast iron cap over in one piece, with locking arrangement provided with a bolt and huge screwed on lightly serving the purpose of a lock and the warning pipes of the ribbet pretessed with screw or dome shape pieces (like a garden mari rose) with copper pipes with perfictions each not exceeding 1.5 mm. in diameter. the cistern shall be made easily, safely and permanently a ceasible by providing a firmly fixed iron ladder, the upper ends of the ladder should be earmarked and extended 40 cms. above the top where they are to be fixed an its lower ends in cement concrete blocks.
- (31) No broken bottles should be fixed over boundary walls. This prohibition refers only to broken bottles to not to the use of plane glass for coping over compound wall.
- (32) ~~(a) Louvres should be provided as required by Byelaw No. 5 (b).~~
~~(b) Lintels or Arches should be provided over Door and Window opening.~~
~~(c) The drains should be laid as require under Section 234 (a) or~~
~~(d) The inspection chamber should be plastered inside and outside.~~
- (33) If the proposed additional is intended to be carried out on old foundations and structures, you will do so at your own risk.

S. Ramajal
6-5-2011

Executive Engineer, Building Proposals
Zones City-I Wards



NET GROSS AREA

AREA	PERCENTAGE
...	...

BUILT UP AREA SUMMARY

FLOOR	B.U.A.	PERCENTAGE	TOTAL AREA
1ST
2ND
3RD
TOTAL

PROFORMA - B

COPIES OF SHEET
ISSUING A FINAL FLOOR PLAN (1) TO THE LOCAL AREA OFFICE
AREA CALCULATION

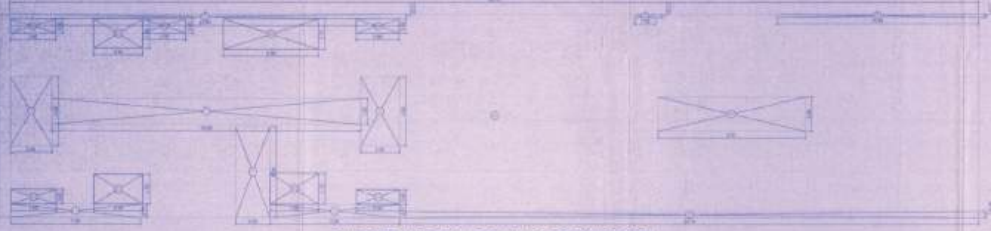
STAMP OF DATE OF RECEIPT OF PLAN
STAMP OF DATE OF APPROVAL OF PLAN

Agreement Subject to Conditions mentioned in the No. 8887 (20) of 1974, G.S.

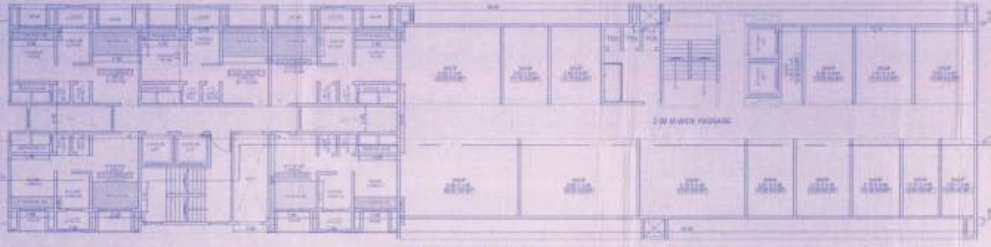
NAME AND ADDRESS OF OWNER/ARCHITECT

NAME AND ADDRESS OF LOCAL OFFICE

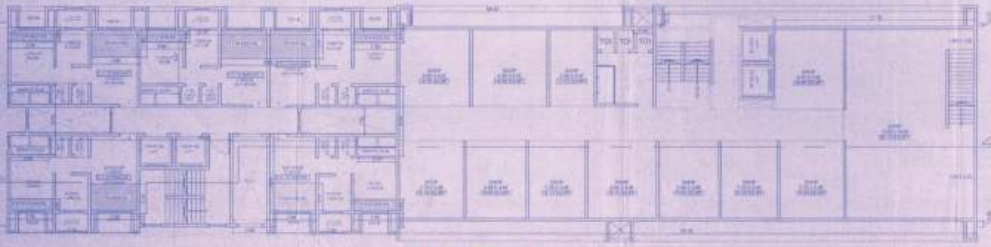
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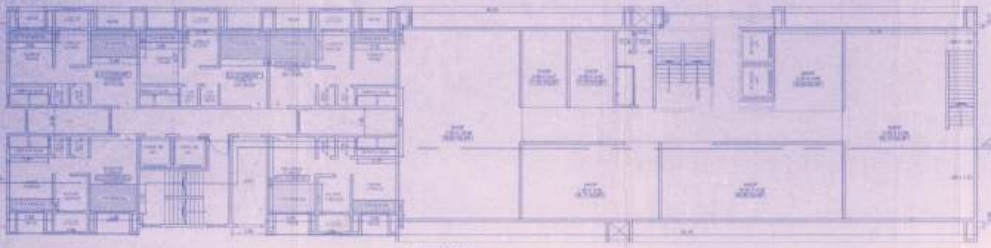
BUILT UP AREA DIAGRAM 2ND TO 6TH FLOOR



6TH FLOOR PLAN



5TH FLOOR PLAN



4TH FLOOR PLAN

DATE OF THIS DRAWING: _____

SCALE: _____

PROJECT: _____

CLIENT: _____

DESIGNER: _____

CHECKED: _____

DATE: _____

PROFORMA - B 23

CONTENTS OF SHEET

GENERAL & TYPICAL FLOOR PLANS (UP TO 5TH) AND AREA DRAWING & AREA CALCULATION

REMARKS ON DATE OF ACCEPTANCE OF PLAN

NAME OF DATE OF ACCEPTANCE: _____

YEAR OF DATE OF ACCEPTANCE: _____

Signature: _____

NAME AND ADDRESS OF REGISTERED ARCHITECT:

PAN ARCHITECTS

NAME, ADDRESS AND REGISTRATION NUMBER OF ARCHITECT:

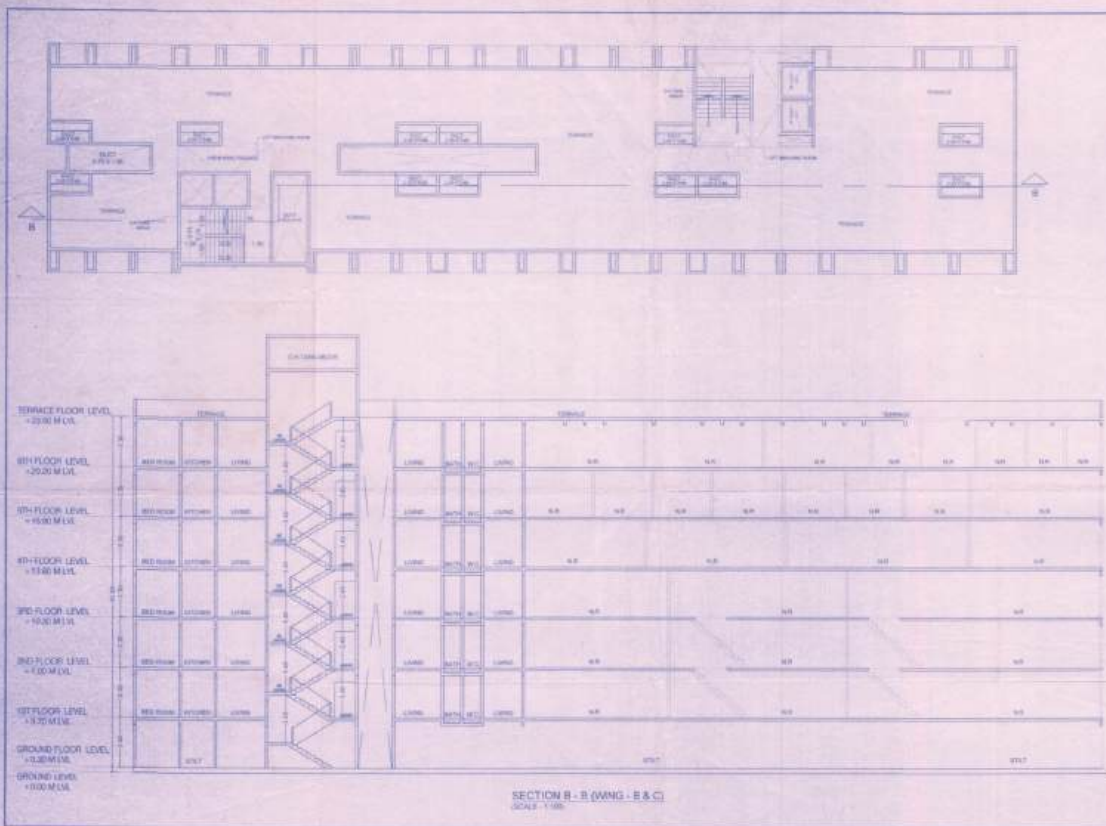
SPACED

DATE: _____

REGISTERED ARCHITECT: _____

REGISTRATION NUMBER: _____

46



900850

PROFORMA - B

CONTENTS OF SHEET
SECTION B - B (WING - B & C)

STAMP OF DA [Signature]
[Signature]
[Signature]

STAMP OF DATE OF APPROVAL OF PLAN

NAME AND ADDRESS OF INDIVIDUAL OR PROPERTY
[Signature]

NAME OF THE OWNER
MAYALTA INDUSTRIES LTD

NAME, ADDRESS AND SIGNATURE OF ARCHITECT
[Signature]

PAN ARCHITECTS
[Signature]

SECTION B - B (WING - B & C)
SCALE: 1:100

TABLE 1: BUILDING HEIGHTS AND ADJACENT STREET WALLS

NO.	STREET	HEIGHT (M)	ADJACENT STREET WALL (M)
1	12th St	12.00	12.00
2	13th St	12.00	12.00
3	14th St	12.00	12.00
4	15th St	12.00	12.00
5	16th St	12.00	12.00

TABLE 2: SET BACKS

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

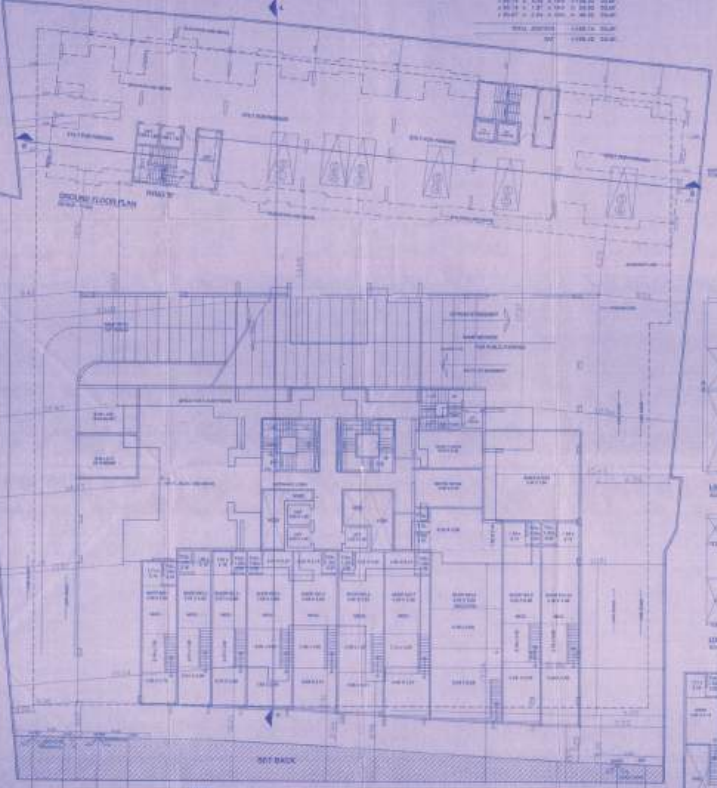


TABLE 3: SET BACKS

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 4: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 5: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 6: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 7: PERMISSIBLE AREA STATEMENT

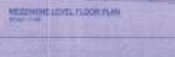
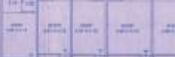
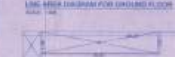
NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 8: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 9: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00



PROFORMA - A

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

PROFORMA - B

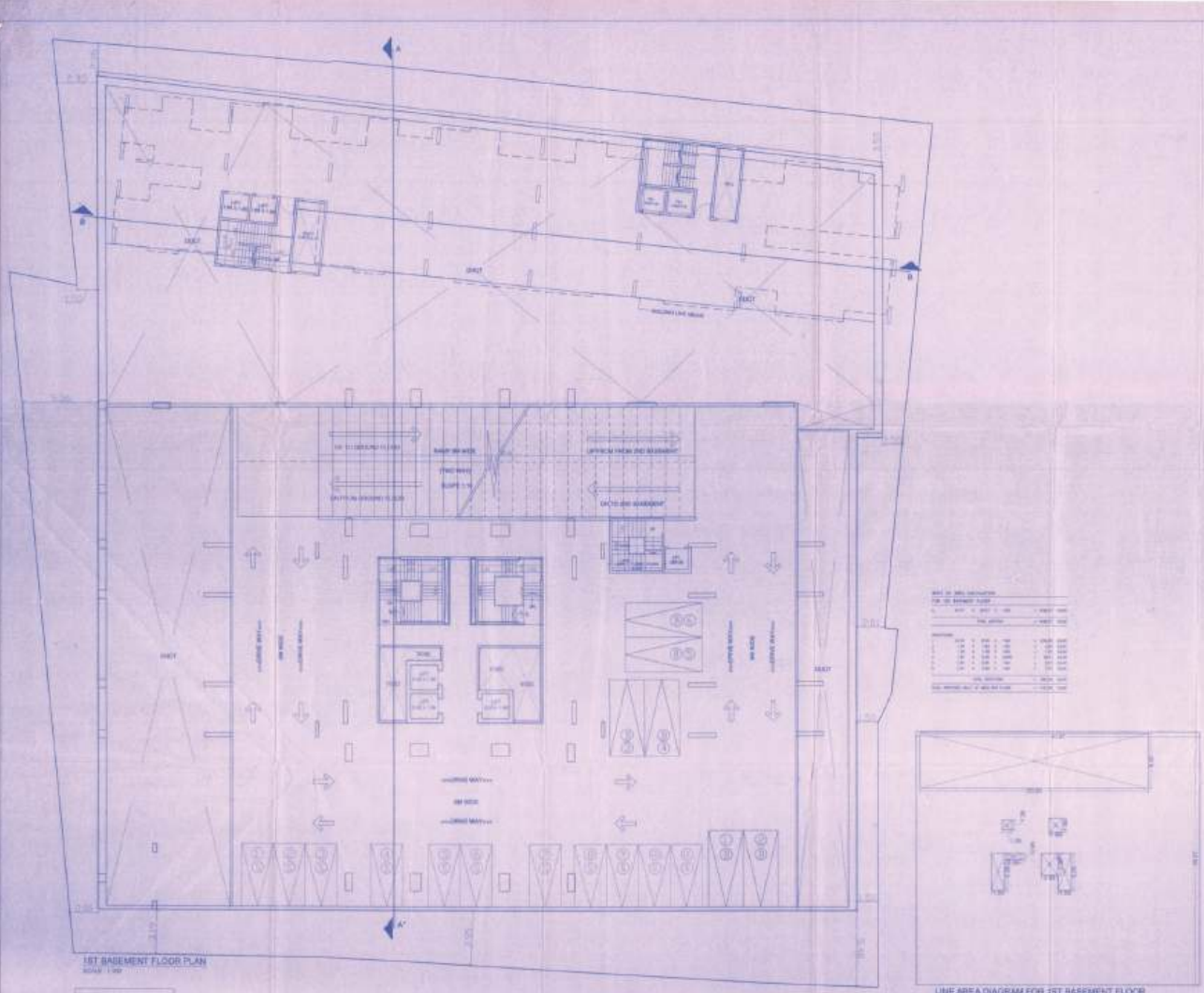
NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 10: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

TABLE 11: PERMISSIBLE AREA STATEMENT

NO.	STREET	FRONT (M)	REAR (M)	SIDE (M)
1	12th St	3.00	3.00	3.00
2	13th St	3.00	3.00	3.00
3	14th St	3.00	3.00	3.00
4	15th St	3.00	3.00	3.00
5	16th St	3.00	3.00	3.00

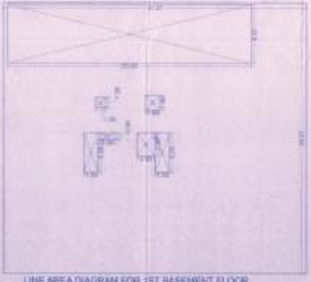


1ST BASEMENT FLOOR PLAN
SCALE - 1/8" = 1'-0"

OWNER PARKING
 BANK CAR = 179000
 BUS CAR = 36000
 TOTAL = 215000

AREA OF AREA CALCULATION

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL
1	OFFICE	10000	10000
2	STORAGE	5000	15000
3	STAIRWELL	1000	16000
4	ELEVATOR	500	16500
5	MECHANICAL	1000	17500
6	STRUCTURAL	1000	18500
7	UNASSIGNED	1000	19500
8	UNASSIGNED	1000	20500
9	UNASSIGNED	1000	21500
10	UNASSIGNED	1000	22500
11	UNASSIGNED	1000	23500
12	UNASSIGNED	1000	24500
13	UNASSIGNED	1000	25500
14	UNASSIGNED	1000	26500
15	UNASSIGNED	1000	27500
16	UNASSIGNED	1000	28500
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18	UNASSIGNED	1000	30500
19	UNASSIGNED	1000	31500
20	UNASSIGNED	1000	32500
21	UNASSIGNED	1000	33500
22	UNASSIGNED	1000	34500
23	UNASSIGNED	1000	35500
24	UNASSIGNED	1000	36500
25	UNASSIGNED	1000	37500
26	UNASSIGNED	1000	38500
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40	UNASSIGNED	1000	52500
41	UNASSIGNED	1000	53500
42	UNASSIGNED	1000	54500
43	UNASSIGNED	1000	55500
44	UNASSIGNED	1000	56500
45	UNASSIGNED	1000	57500
46	UNASSIGNED	1000	58500
47	UNASSIGNED	1000	59500
48	UNASSIGNED	1000	60500
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75	UNASSIGNED	1000	87500
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89	UNASSIGNED	1000	101500
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92	UNASSIGNED	1000	104500
93	UNASSIGNED	1000	105500
94	UNASSIGNED	1000	106500
95	UNASSIGNED	1000	107500
96	UNASSIGNED	1000	108500
97	UNASSIGNED	1000	109500
98	UNASSIGNED	1000	110500
99	UNASSIGNED	1000	111500
100	UNASSIGNED	1000	112500



LINE AREA DIAGRAM FOR 1ST BASEMENT FLOOR
SCALE - 1/8" = 1'-0"

PROFORMA - B 3/5

CONTENTS OF SHEET
 1. GENERAL NOTES AND SPECIFICATIONS
 2. CONTRACT DOCUMENTS
 3. DRAWINGS

STAMP OF DATE OF REVIEW
 REVIEWED BY: [Signature]
 DATE: [Date]

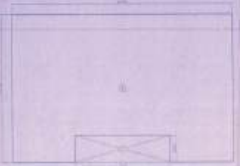
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 APPROVED BY: [Signature]
 DATE: [Date]

SCALE AND NUMBER OF SHEETS AND DETAILS
 SHEET NO. 3/5
 TOTAL SHEETS: 5

REGISTERED PROFESSIONAL ENGINEER
 NAME: [Name]
 LICENSE NO.: [Number]
 EXPIRES: [Date]

REGISTERED PROFESSIONAL ARCHITECT
 NAME: [Name]
 LICENSE NO.: [Number]
 EXPIRES: [Date]

DATE AND SIGNATURE OF ARCHITECT
 DATE: [Date]
 SIGNATURE: [Signature]



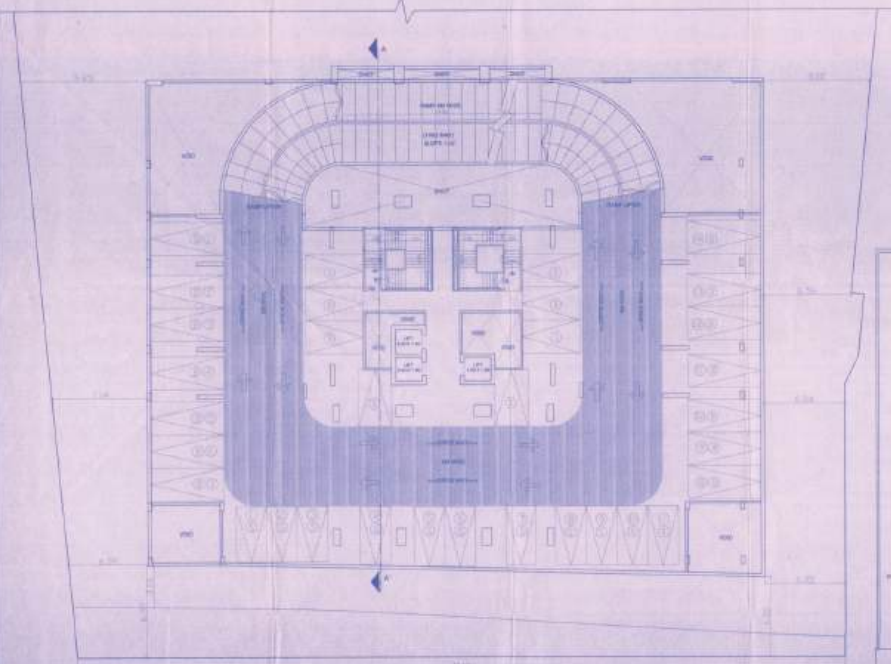
LINE AREA DIAGRAM FOR 5TH PODIUM FLOOR (WING - B)
SCALE: 1/100

AREA OF AREA INFORMATION	
NET AREA	100.00 SQM
GROSS AREA	100.00 SQM
NET AREA	100.00 SQM
GROSS AREA	100.00 SQM



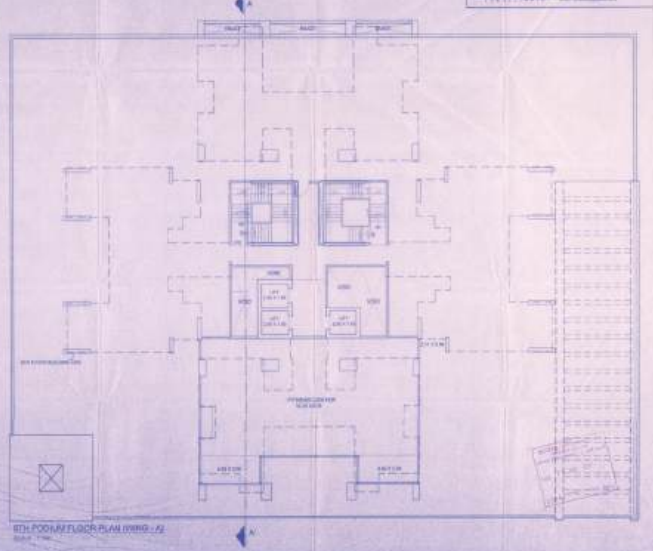
AREA OF AREA INFORMATION	
NET AREA	100.00 SQM
GROSS AREA	100.00 SQM
NET AREA	100.00 SQM
GROSS AREA	100.00 SQM

CONSTRUCTION NOTES:
1. THIS AREA IS FOR REFERENCE ONLY.
2. DIMENSIONS ARE AS SHOWN ON THE DRAWING.
3. FINISH FLOOR LEVEL IS AS SHOWN.



TYPICAL PARKING FLOOR PLAN (SET TO 4TH WING - A)
SCALE: 1/100

DIMENSION INFORMATION	
UNIT	METER
SCALE	1/100
TOTAL	100.00



5TH PODIUM FLOOR PLAN (WING - A)
SCALE: 1/100

PROFORMA - B 4/6

COMPONENT OF DRAWING

PROJECT INFORMATION

DESIGNER INFORMATION

DATE OF ISSUE OF DRAWING

DATE OF ISSUE OF APPROVAL OF PLAN

APPROVAL INFORMATION

APPROVED BY: [Signature]

DATE: [Date]

SCALE: 1/100

PROJECT NAME: [Project Name]

CLIENT: [Client Name]

LOCATION: [Location]

DESIGNER: [Designer Name]

DATE OF ISSUE: [Date]

DATE OF APPROVAL: [Date]

SCALE: 1/100

PROJECT NAME: [Project Name]

CLIENT: [Client Name]

LOCATION: [Location]

DESIGNER: [Designer Name]

DATE OF ISSUE: [Date]

DATE OF APPROVAL: [Date]

SCALE: 1/100

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

No. *FB/HR/City/128*
Date: *20/04/2011*

Sub: Fire prevention and fire fighting requirements for the proposed redevelopment of property bearing C.S. No.1/207, 207 & 208 of Tardeo Division D-Ward situated at Shuklaji Street, Mumbai – 400 008.

Ref: Letter received from M/s. Shaikh & Associates, Architects, Engineers & Interior Designers dated 07.06.2010.

MFB No.: HR/City/128 dated 07.06.2010.

Ch.Eng.(D.P.)

This is a proposal under section 33(7) of D.C. Regn. 1991, for construction of High Rise Residential cum Commercial Sale Building having two level basements beyond the building line (which is common for rehab and sale building) + ground + 1st to 6th parking floor + 7th podium floor + 8th to 50th upper residential floor with total height of 187.80 meters from general ground level up to the terrace level as shown in the plan.

The floor-wise user of the building is as under:

Floor Nos.	User of floor
2 Nos. of basement beyond the Building line	Will be used for parking by way of 6.00 meter wide two way ramp, pump room, fire water tank, domestic water tank, flushing water tank, rain water harvest tank, 9 lifts, 3 staircases.
Ground floor	Will be used for 10 nos. of shops with mezzanine floor, Substation, Electric Meter Room, Society Office, Security Cabins & D.G. set Room, 3 internal staircases, 7 lifts.
1 st to 6 th floor	Will be used for car parking by way of 6.00 meter wide two way ramp, 2 internal staircases, 6 lifts.
7 th floor	Will be used partly for refuge area and partly for Fitness Centre, 2 internal staircases, 6 lifts
8 th to 11 th , 13 th to 17 th & 19 th to 21 st , 23 rd to 25 th , 27 th to 29 th , 31 st and, 32 nd floors	Will be used for 8 Nos. of Residential tenements on each floor, 2 internal staircases, 6 lifts
12 th , 18 th , 22 nd , 26 th , 30 th floors	Will be partly used for 6 residential tenements and partly for refuge, 2 internal staircases, 6 lifts.
33 rd floor	Will be used partly for 4 nos. of lower level duplex residential tenements with provision of internal staircase, partly for refuge area, and partly as terrace, 2 internal staircases, 6 lifts
34 th floor	Will be used for 4 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts
35 th floor	Will be used partly for 4 nos. of lower level duplex residential tenements with provision of internal staircase, partly for terrace, 2 internal staircases, 6 lifts
36 th floor	Will be used for 4 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts
37 th floor	Will be used partly for 3 nos. of lower level duplex residential tenements with provision of internal staircase, partly for terrace, partly for refuge, 2 internal staircases, 6 lifts
38 th floor	Will be used for 3 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts

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39 th floor	Will be used partly for 3 nos. of lower level duplex residential tenements with provision of internal staircase, partly for terrace, 2 internal staircases, 6 lifts
40 th floor	Will be used for 3 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts
41 st & 45 th floor	Will be used partly for 2 nos. of lower level duplex residential tenements with provision of internal staircase, partly for terrace, partly for refuge, 2 internal staircases, 6 lifts
42 nd and 46 th floor	Will be used for 2 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts
43 rd floor	Will be used partly for 2 nos. of lower level duplex residential tenements with provision of internal staircase, partly for terrace, 2 internal staircases, 6 lifts
44 th floor	Will be used for 2 nos. of upper level duplex residential tenements with provision of internal staircase, 2 internal staircases, 6 lifts
47 th floor	Will be used partly for 1 nos. of lower level duplex residential tenement with provision of internal staircase, partly for terrace, 2 internal staircases, 6 lifts
48 th floor	Will be used for 1 nos. of upper level duplex residential tenement with provision of internal staircase, 2 internal staircases, 6 lifts
49 th floor	Will be used partly for 1 nos. of lower level duplex residential tenement with provision of internal staircase, partly for terrace, 2 internal staircases, 6 lifts
50 th floor	Will be used for 1 nos. of upper level duplex residential tenement with provision of internal staircase, 2 internal staircases, 6 lifts

Refuge floors:

Refuge floor	Height	Area
7 th	24.00 mtr	1469.29sq.mtrs
12 th	47.40 mtr	129.73 Sq.Mt.
18 th	69.00 mtr	129.73 Sq.Mt.
22 nd	83.40 mtr	129.73 Sq.Mt.
26 th	97.80 mtr	129.73 Sq.Mt.
30 th	112.20 mtr	129.73 Sq.Mt.
33 rd	123.00 mtr	51.94 Sq.Mt.
37 th	137.40 mtr	129.73 Sq.Mt.
41 st	151.80 mtr	69.77 Sq.Mt.
45 th	166.20 mtr	69.77 Sq.Mt.

In addition to above, terrace of the building will be treated as refuge area:

For Sale building

2 level basement, beyond the building line will be common for the rehab and the sale building as per shown in the plan. The sale building will be provided with 2 nos. of enclosed type staircases with flight width of 1.5 meters and 1.2mtrs each. These staircases will be leading from ground floor level to the 2nd basement level along with 7 lifts as per shown in the plan. Two staircases having flight width of 1.5mtrs each will be provided from ground floor level up to the terrace level and same will be internally located and adequately ventilated to void along with 6 lifts as shown in the plan. One lift from each lift bank will be converted into a fire lift. The common passage and lift lobby on each floor will be directly ventilated to outside air as shown in the plan.

The building under reference abuts 18.2 mtrs wide Shuklaji Street at East side. The open spaces around the building are as follows:

On South side	5.71 mtrs to 9.17 mtrs.
On North side	8.00 mtrs
On East side	1.57 mtrs to 3.57 mtrs + setback + 60feet wide Shuklaji Street
On West side	7.32 mtrs to 11.05mtrs.

The proposal has been considered favourably in view of the fact that:

1. The proposal is under section 33(7) of redevelopment scheme under DC regulation, 1991.
2. Sufficient open space has been provided from all sides except East side, there is 18.2 mtrs wide Shuklaji Street.
3. The building has been provided with two nos. of staircases having width of 1.5 mtrs each. Moreover a separate staircase has been provided for two level basement.
4. The lift lobby and common corridor on each floor will be ventilated outside the air and 2.00 mtrs common corridor has been provided from 11th floor level upto 54th floor level.
5. Refuge area has been provided on 7th, 12th, 18th, 22nd, 26th, 30th, 33rd, 37th, 41st & 45th floors as per D.C. Regn. facing to the road side and in additional terrace floor is also treated as refuge area.
6. Plot under reference abuts 18.2 mtrs wide Shuklaji Street at East side.
7. Architect has agreed to provide sprinkler system in entire passage of the building, all Parking floors i.e. on 1st to 6th parking floors and on 7th podium floor and in shopping area, in basement & in entire building.
8. Architect has agreed to provide drencher system in all parking floors i.e. on 1st to 6th parking floors and on 7th podium floor and basement & in entire building.
9. Architect has agreed to provide hydrant system at the periphery at every 30.00 mtrs.
10. Architect has agreed to provide additional fire fighting requirement if required in future.
11. The building will also be provided with fire prevention and fire fighting requirements such as wet riser system with fire pump booster pump, overhead tank, manual fire alarm system, alternate source of electric supply, sprinkler pump with jockey pump.
12. During construction stage and prior to final occupation party agreed to comply with additional requirement stipulated by Chief Fire Officer of Mumbai Fire Brigade.

In view of the above, as far as this Department is concerned there would be no objection for the construction of High Rise residential cum commercial Sale Building having two level basements beyond the building line, ground floor + 1st to 6th parking floor + 7th podium & recreation floor + 8th to 50th upper residential floors with total height of 187.80 mtrs from the general ground level up to the terrace, subject to satisfactory compliance of the following requirements.

1. ACCESS

There shall be no compound wall on the road side and the courtyards shall be flushed with road levels. However, removable bollards with link chain may be provided. Entrance gates each of 6 meters width shall be provided, at locations marked on the enclosed plan.

2. ACCESS RAMP:

- i. The access ramp of width 6.00 mtrs. with a point load of 10 kgs/ cm.
- ii. The gradient of the ramp shall not be steeper than 1:10.

3. COURTYARD

- All available courtyards around the building shall be paved suitably to bear the load of fire engines weighing upto 48 tonnes each. And courtyard from remaining sides shall be paved properly.
- All the courtyard shall be in one plane.
- The courtyard shall be kept free from obstructions at all times.

M. J. [Signature]
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4. CAR PARKING & Podium floors

- Car parking shall be provided in car parking floors only as shown in the attached approved plan. Structural members of the car parking floors should have fire resistance of not less than four hours.
- Car parking area shall be restricted from 2 level basement + 1st to 6th parking floors.
- Parking floors shall be used for horizontal car parking. Parking floors shall not be enclosed except for parapet walls.
- The drainage of the car parking areas shall be separated from that of the building and shall be provided with catch pit with fire trap before connecting the building drainage or Municipal drainage.
- Drainage of the car park areas shall be so laid as to prevent any overflow in staircase, lift shaft etc.
- The parking area shall not be used for dwelling purpose and repairing / maintenance of vehicles, storage, trade activity etc, at any time and use of naked light / flame shall be strictly prohibited.
- The drive ways shall be properly marked & maintained unobstructed. Proper illuminated signage's for escape routes, ramps, etc. shall be provided at prominent locations.

5. MEZZANINE FLOOR:

- i) The construction of mezzanine floor shall be sound.
- ii) The mezzanine floor shall not be enclosed except for hand rails.
- iii) Handrail shall be provided for the M.S. ladder.
- iv) The mezzanine floor shall not be used for any other purpose except shop.
- v) The mezzanine floor shall not be used for storage of any combustible or inflammable material.
- vi) The entrance and exit of the premises shall be kept free from obstructions at all times.
- vii) Independent staircase shall be provided for entry to mezzanine floor.

6. STAIRCASE

- The layout of all the staircases shall be of enclosed type as shown in the plan throughout its height & shall be approached (gained) at each floor level through one hour fire resistant self closing door (45 mm. thickness) placed in the enclosing walls of the staircase at landing. The flight width of the staircase shall as shown in the plan. The fire resistance rating shall be increased by half an hour after 70 mtrs. Height. The flight width of both the staircases shall not be less than 1.5 meters.
- Entry shall be gained on every floor through enclosed type staircase.
- Permanent vent at the top equal to 5% of the cross sectional area of the staircase shall be provided.
- Openable sashes or R.C.C. grills with clear openings of not less than that of 0.5 Sq.Mt. per landing on the external wall of the staircase shall be provided.
- Internal staircase of the Duplex flats shall be non-combustible material. Storage of any kind shall not be made underneath the staircase.

7. ESCAPE ROUTE FROM FLAT TO STAIRCASE

- Lift lobby at each floor level, shall be ventilated directed to outside air as shown on the approved plan.
- Exit from flat to the common staircases shall also be provided to the upper duplex levels of all duplex residential flats in addition to the existing exits provided at the lower duplex level as per shown in the plan.

8. SHOP DOORS

Shop doors shall be solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness).

9. FLAT ENTRANCE DOORS

Flat entrance and kitchen doors shall be of solid core having one hour fire resistance & shall increase beyond N.B.C. provisions by half an hour after every 70 mtrs. height of the building.

10. LIFTS

- Walls enclosing lift shafts shall have a fire resistance of not less than two hours.
- Shafts shall have permanent vents of not less than 0.2 Sq.Mt. in clear area immediately under the machine room, landing doors of all the lifts should be open at each floor level.
- Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible doors shall be permitted.
- One lift from each group shall be converted in to the fire lift as per the specifications laid down under the regulations.

FIRE LIFT

- To enable fire services personnel to reach the upper floors with the minimum delay, one fire lift shall be provided, and shall be available for the exclusive use of the firemen in an emergency.
- The lift shall have a floor area of not less than 1.4 m². It shall have loading capacity of not less than 545 kg (8 persons lift) with automatic closing doors of minimum 0.8 m width.
- The electric supply shall be on a separate service from electric supply mains in a building and the cables run in a route safe from fire, that is, within the lift shaft. Light and fans in the elevators having wooden paneling or sheet steel construction shall be operated on 24 volt supply.
- Fire lift should be provided with a ceiling hatch for use in case of emergency, so that when the car gets stuck up, it shall be easily openable.
- In case of failure of normal electric supply, it shall automatically changeover to alternate supply. For apartment houses, this changeover of supply could be done through manually operated changeover switch. Alternatively, the lift shall be so wired that in case of power failure, it comes down at the ground level and comes to stand-still with door open.
- The operation of fire lift should be by a simple toggle or two – button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on a priority control device. When the switch is off, the lift will return to normal working. When this lift can be used by the occupants in normal times.
- The words 'Fire Lift' shall be conspicuously displayed in fluorescent paint on the lift landing doors at each floor level.
- The speed of the fire lift shall be such that it can reach the top floor from ground level within one minute.

11. ELECTRIC CABLE SHAFT AND ELECTRIC METER ROOM

- Electric cables shall not pass through the staircase walls or shall be taken in concealed manner.
- Inspection door for the shaft if provided shall have two hours fire resistance.
- Electric Meter Room shall be provided at ground floor level at location marked on the plan and shall be adequately ventilated and segregated from other rooms by brick masonry wall of 4 hrs fire resistance.
- Separate entrance with provision of 2 hrs FRD shall be provided to the electric meter room.
- Electrical shaft shall be sealed at each floor level with non-combustible material such as vermiculate concrete.

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12. ESCAPE ROUTH LIGHTING

Escape route lighting (staircase and corridor lights) shall be on independent circuits as per rules.

13. BASEMENT (TWO LEVEL BASEMENT)

- Each basement shall be separately ventilated. Vents with cross, sectional area (Aggregate) not less than 2.5 percent of the floor area shall be spread evenly around the perimeter of the basement and shall be provided in the form of grills or breakable staff boards lights or pavement lights or by way of shafts.
- Alternatively, a system of air inlets shall be provided at basement floor level and smoke outlets at basement ceiling level.
- Inlets and outlets may be terminated at ground level with stall boards or pavements lights; but ducts to convey fresh air to the basement floor level shall have to be laid.
- Stall boards and pavement lights should be in positions easily accessible to the Fire Brigade Personnel and rescue teams and clearly marked 'SMOKE OUTLET' or 'AIR INLET' with an indication of area served at or near the opening.
- The staircase of basements shall be of enclosed type having fire resistance of not less than two hours.
- The staircase of basements shall be communicated with the basement through a lobby provided with fire resisting self closing doors of one hour fire resistance.
- Intake ducts may serve all basement levels but each basement and basement compartment shall have separate smoke outlet duct or ducts.
- In additions to the natural ventilation, mechanical ventilation shall be provided to the basement with 15 air changes per hour with an arrangement to accelerate the rate of air changes to 30 per hour in the event of a fire emergency.
- The basement area shall be provided with double line sprinkler system.
- The basement shall be used for designated purpose only.
- Natural ventilation to the basement shall be maintained through cut off shafts.
- If the area of the basement is more than 750 Sq.Mt. the basement shall be compartmentalized with provision of fusible linked type door.
- The basement shall be properly lighted. All escape routes shall be lighted to have a minimum luminance of 2.5 lux and all such lights shall be connected to an emergency course such as a better backed inverter or a diesel generator.
- Cut off lobby, Staircases, common passages & escape routes of the entire building shall be painted with fire retardant paint.
- One Dry Chemical Powder fire extinguisher ABC type of 5 kgs. capacity each shall be kept for every 100 sq. mtrs. area in the basement.

14. PROTECTION TO STRUCTURAL STEEL

- All the structural steel members i.e. columns, beams, etc. shall protected with the fire resisting materials & methods as stipulated under IS 1942-1960 as application for residential building.
- A certificate to that effect that the fire resistance protection has been provided as above shall be furnished from the Chartered Structural Engineer at the time of application for occupying the building and all structural members have 04 hours fire resistance.

15. AIRCONDITIONING SYSTEM (IF PROVIDED)

- The Escape routs like staircases lift lobbies etc. shall not be used as return air passages.
- The A.C. ducting shall be constructed of substantial metal gauge as specified under IS:665:1963 for Metal Air Ducts (Revised).
- Metallic ducts shall be used even for the return air instead of space above the false ceiling.
- The material used for insulating the duct system (inside or outside) shall be of non Combustible nature such as glass wool, spun glass with neoprene facing.

- The insulating material if provided to A.C. ducting either from inside or outside, shall be of no-combustible material such as glass wool covered with aluminum foil or spume with neoprene facing or any other similar material.
- Air duct serving main floor areas, corridors, etc. shall not pass through the staircase.
- Automatic fire dampers shall be provided as per the rules. False ceiling, runners & Suspenders shall be of non-combustible material.

16. FIRE FIGHTING REQUIREMENTS:
UNDER GROUND WATER STORAGE TANK:

An underground water storage tank of 4,00,000 liters capacity shall be provided at ground floor level at the location on the plan, as per design specified in the rules with baffle wall and fire brigade collecting breaching. Another tank having capacity 2,50,000 liters shall be provided for sprinkler system. Both the tanks are interconnected with LOOP connection.

OVERHEAD (TERRACE) WATER STORAGE TANK. (on each staircase)

Another tank of 50,000 liters capacity shall be provided at the terrace level in both staircase. The design and layout shall be got approved from H.E.'s department prior to erection. The tank shall be connected to the wet riser through a booster pump through a non-return valve and gate valve at each staircase.

WET RISER. (For each staircase)

Two wet risers each of internal diameter of 15 cms. Of G.I. "C" class pipe shall be provided in a separate duct with twin hydrant outlet and hose reel at each floor level not to reduce the width of common corridor. Pressure reducing discs or orifices shall be provided at lower level so as not to exceed pressure of 5.5 kgs. / Sq.Mt.cms. A fire service inlet on the external face of the building directly fronting the courtyards shall be provided to connect the mobile pump of the fire service to the wet riser.

FIRE PUMP, BOOSTER PUMP, SPRINKLER PUMP AND JOCKY PUMP:

- Wet riser shall be connected to a fire pump at ground level of 2800 litres/min. capacity giving a pressure of not less than 3.2 kg.s/Sq.Mt. cms at the topmost hydrant.
- Booster pump of capacity of 1800 liters/ min having a pressure of not less than 3.2 kgs/sq cms at the topmost hydrant of the wet riser-cum-down comer shall be provided at the terrace level of the building.
- A sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
- Electric supply (Normal) to these pumps shall be on independent circuit.
- Electric wiring shall be having copper core having the fire resistance & low smoke hazards cables for the entire building with provision of ELCB / MCB.
- Wet riser should be extended upto main gate / entrance with Fire Brigade inlet.

EXTERNAL HYDRANTS.

Four hydrants shall be provided within the confines of the site on the wet riser at locations marked on the approved plan.

BREAK PRESSURE WATER STORAGE TANK:

Break pressure tank of capacity 30,000 liters shall be provided on each refuge floor. The layout of which be got approved from H.E.'s department prior to erection. The tank shall be connected to the wet riser through booster pump, through non return valve.

STANDBY PUMPS:

A set of all the above pumps shall also be provided on the site as standby pumps which shall be used alternatively.

ALTERNATE SOURCE OF ELECTRIC SUPPLY.

An alternate source of L.V. / H.V. supply from a separate sub-station with appropriate change over switch shall be provided for fire pump, sprinkler pump, and jockey pump booster pump, fire alarm system, fire lift, staircase and corridor lighting. It shall be housed in a separate cabin or D.G. set should be provided for these systems.

FIRE ALARM SYSTEM / FIRE DETECTION SYSTEM :

- The building shall be provided with intelligent analog addressable fire alarm system with microprocessor based main control panel at Ground floor level and addressable call points and hooters at each floor level. The design of fire alarm

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system shall be in accordance with I.S. specification and based on NFPA 72 guidelines (as per 2010 edition).

- b. The addressable fire alarm system shall be equipped with the latest evacuation features such as digital voice evacuation capabilities; fire fighters telephone system, directional sounders etc. The main entry/exit points shall be provided with fire fighters interactive touch screen interface to enable viewing of critical information in event of fire.
- c. Appropriate fire detection system shall be installed in common passages & lift lobbies.
- d. Access control system, close circuit cameras shall be installed in the entire building & connected to B.M.S. control at reception.
- e. Trained security staff & fire staff shall be posted on duty at strategic location around the clock.
- f. Security / fire staff shall be trained in evacuation procedure & use of fire fighting equipments.
- g. The entire building floors shall be provided with proper standard signage.

PORTABLE FIRE EXTINGUISHERS

- One Dry Chemical Powder (A.B.C.) type fire extinguisher of 10 kgs. Capacity having I.S.I. certification mark and two buckets filled with dry clean sand shall be kept in Electric meter Room as well as Lift Machine room.
- Four Dry Chemical Powder (A.B.C.) type fire extinguishers each of 10 Kgs. Capacity having I.S.I. certification mark shall be equally distributed on each podium floor level.
- Two Dry Chemical Powder (A.B.C.) type fire extinguishers each of 05 Kgs. Capacity having I.S.I. certification mark shall be kept in each residential floors & refuge area.

17. AUTOMATIC SPRINKLER SYSTEM:

Automatic sprinkler system shall be provided to the basement, car parking floors i.e. 1st floor to 6th parking floors, 7th podium floor, in shopping area as well as in Lift lobby & common passage and in entire building. The automatic sprinkler system shall be installed as per the standard laid down by T.A.C. & relevant I.S. specifications.

18. DRENCHER SYSTEM:

Drencher system should be provided on the periphery of the car parking floors of the building and should be connected to the main sprinkler pump as per the standard laid down in relevant I.S. Specifications.

- 19. FIRE ESCAPE MASK** approved by UL/Ch.E.(D.P.)/NFPA and 15 minutes duration Emergency Life saving apparatus sets shall be provided at each floor level and quantity of the Masks and ELSA sets shall be decided with consultation of C.F.O.'s department.

20. VOICE EVACUATION SYSTEM:

The Voice Evacuation System shall be integrated to Fire Alarm system so as to facilitate the co-ordination activities in case of fire emergencies. The actuation of fire alarm system in the fire alarm control panel shall automatically activate the Voice Evacuation system. A pre-recorded message shall be broadcast on the affected floor, one floor below and two floors above the affected floor.

21. PUBLIC ADDRESS SYSTEM:

The entire building including the entire level basement shall be provided with Public Address System as per the 101 N.F.P.A. Code.

22. FIRE ESCAPE CHUTE.

Fire escape chute shall be provided on each refuge area in such manner which can make evacuation from top refuge area to ground level without any obstruction.

23. BREATHING APPARATUS SET :

Four Self contained Compressed Air Breathing Apparatus sets of 45 minutes duration each shall be kept in the Fire Control Room in consultation with C.F.O and two Self contained Compressed Air Breathing Apparatus sets of same capacity shall be kept in each refuge area.

24. QUALIFIED FIRE OFFICER:

A qualified full time fire officer with experience of not less than 15 years shall be appointed who will be available on the premises at all times. Alternative full time qualified fire officers working in shift duty system shall be placed round the clock on the premises who will be responsible for the following –

- a) Maintenance of all the first aid firefighting equipment, Fixed installations and other fire protection equipment/appliance in good working condition at all times.
- b) Imparting training to the occupants of the building in the use of fire fighting equipment provided on the premises and keeps them informed about the fire and other emergency evacuation procedures.
- c) To liaise with the City Fire Brigade on regular and continual basis.

25. FIRE CONTROL ROOM:

- Separate Fire Control room with well trained manpower shall be established on ground floor.
- Plan of each floors indicating means of egress as well escape shall be maintained.
- Control Panel of fire safety system shall be located in the control room.
- Diesel operated standby fire pump shall be provided.

26. REFUGE AREA:

A) The following requirements shall be compiled with in respect of refuge area provided on 7th, 12th, 18th, 22nd, 26th, 30th, 33rd, 37th, 41st & 45th floors.

- The layout of the refuge area shall not be changed / modified at any time in future.
- Refuge area shall be provided with railing / parapet of 1.10 mts. height on external sides and shall be of sound construction.
- Refuge area shall be segregated by brick masonry partition wall of 9" thickness and access to refuge area shall be gained through half an hour fire resistance self closing door.
- There shall not be any opening in to the refuge area from any portion of the occupied premises.
- Refuge area shall be earmarked exclusively used for the use of occupants as temporary shelter and for the use of fire brigade department or any other organization dealing with fire or other emergencies when occur in the building and also for the exercises / drills if conducted by fire brigade department.
- Refuge area shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner / occupiers to maintain the same clean and free from encumbrances and encroachments at all time.
- Clear height of the refuge below the beam / drop pardi shall not be less than 1.80 mts. and not more than 2.2 mtrs.
- Entrance door of the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning REFUGE AREA IN CASE OF EMERGENCY.
- Adequate drinking water facilities shall be provided in the refuge area.
- Adequate emergency lighting facility connected to the electric circuits of staircase / corridor lighting shall be provided in the refuge area.

B) Terrace floor of the building shall also be treated as refuge area and shall be provided with facilities as under :

- Entrance door of the refuge area shall be painted or fixed with a sign painted in luminous paint mentioning REGUGE AREA IN CASE OF EMERGENCY.

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- Adequate drinking water facilities shall be provided in the refuge area.
- Adequate emergency lighting facility connected to the electric circuits of staircase / corridor lighting shall be provided in the refuge area.

27. BUILDING MANAGEMENT SYSTEM WITH WIRELESS TECHNOLOGY & NUMEROUS SENSORS:

The system should allow security management to remotely get intrusion intimation of his premises. The central hub should receive get fire and safety activities that accepts and sends signals from and to the various peripheral devices connected to it. The server also handles the message sending and receiving to mobiles devices of local fire services personnel's the peripheral devices are connected to the server in a network looping technology. Likewise the LCDX panel, which takes inputs, is also connected to the server. The various controllers attached to the server should have an amalgamation of following features.

- (i) DAS : Door Access Security System – Intrusion Alerts
- (ii) GAS : LP Gas Alaram System – Gas Leakage Alerts
- (iii) FAS : Fire Alarm System

28. SUBSTATION:

- Only Dry Type Electric Sub-Station shall be installed.
- The proposed Electric Sub Station Cabin shall be covered from all three sides either by brick masonry walls / R.C.C. of 9th thickness with provision of two hours fire resistant door.
- Entire Installation of Sub-Station including Switchgear Room, Capacitors, and Transformer etc. shall be conforming to the Indian Electrical Act / Rules in practice.
- Cables in the cable trenches shall be coated with fire retardant material.
- Electric wiring shall be having copper core having the fire resistance and low smoke hazard cables for the entire building with provision of ELCB/MCB. / In electrical installation of the building Bus Bar system shall be provided for vertical electrical shaft with feeder pillar box after a gap of every 24.00 meters height of the building.
- Automatic built-in-circuit breakers shall be provided in the Electric Sub-Station.
- Transformer shall be suitably insulated and shall be designed for continuous operation at rated KVA at the secondary terminal under the prevailing service condition at a higher rated voltage.
- The design, treatment and construction of Transformer and breaking of the windings shall be such as to withstand the heavy, mechanical and thermal stresses, which may be experienced under the condition of daily cycle of heating and pulling due to fluctuation in load of dead short circuit on either side of the transformer.
- The capacity of the Electrical Sub-Station & D.G. Set shall be as per M.S.E.B.'s requirements.
- Adequate air and ventilation for Switchgear Room is essential to prevent condensation of moistures.
- All parts of Switchgear and Transformer shall be got examined frequently and carefully for signs of over heating, tracking etc.
- Two Dry Chemical Powder (ABC) type fire extinguishers of 10 kgs. Capacity each with ISI certification mark coupled with four buckets filled with dry, clean sand shall be kept in the Electrical Sub-Station Cabin.
- Two Foam type fire extinguishers of 9 litres capacity each with ISI certification mark coupled with four buckets filled with dry, clean sand shall be kept in the D.G. Set Cabin.
- The Electric Sub-Station & D.G. Set area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.

29. SCHEMATIC PLAN

Detailed schematic plan of the entire building shall be displayed at the ground floor level in front of the building.

30.

FIRE DRILLS/EVACUATION DRILLS: -

Fire Drills and evacuation drills shall be conducted regularly in consultation with Mumbai Fire Brigade and log of the same shall be maintained.

31.

SIGNAGES:

Self glowing / fluorescent exit signs in green color shall be provided showing the means of escape for the entire residential building.

32.

Necessary permission shall be obtained from concerned dept & M.C.G.M's dept/C.F.O.'s dept. for low rise rehab building.

33.

Necessary permission for shops shall be obtained from concerned dept & M.C.G.M's dept/C.F.O.'s dept.

34.

No loft as well as addition & alteration shall be carried out without prior permission of this Dept. in the bldg.

Note:

- 1) Any addition or alterations in utility services, escape routes shall be strictly done with prior permission and sanction of C.F.O. and other competent concerned authorities.
- 2) This NOC is subjected to approval by High Rise Technical Committee/Hon. M.C.
- 3) The schematic drawings /plans of Sprinkler system, fire alarm & fire detection system, Wet riser system & Public Address system etc. shall be got approved from CFO prior to installation.

The architect has paid additional capitation fee of Rs.5,15,000.00 vide Receipt/SAP DOC No.1000612839 dated 08.06.2010 on the gross built area of 47,529.00 sq.mtrs. as certified by the Architect letter dated 07.06.2010.

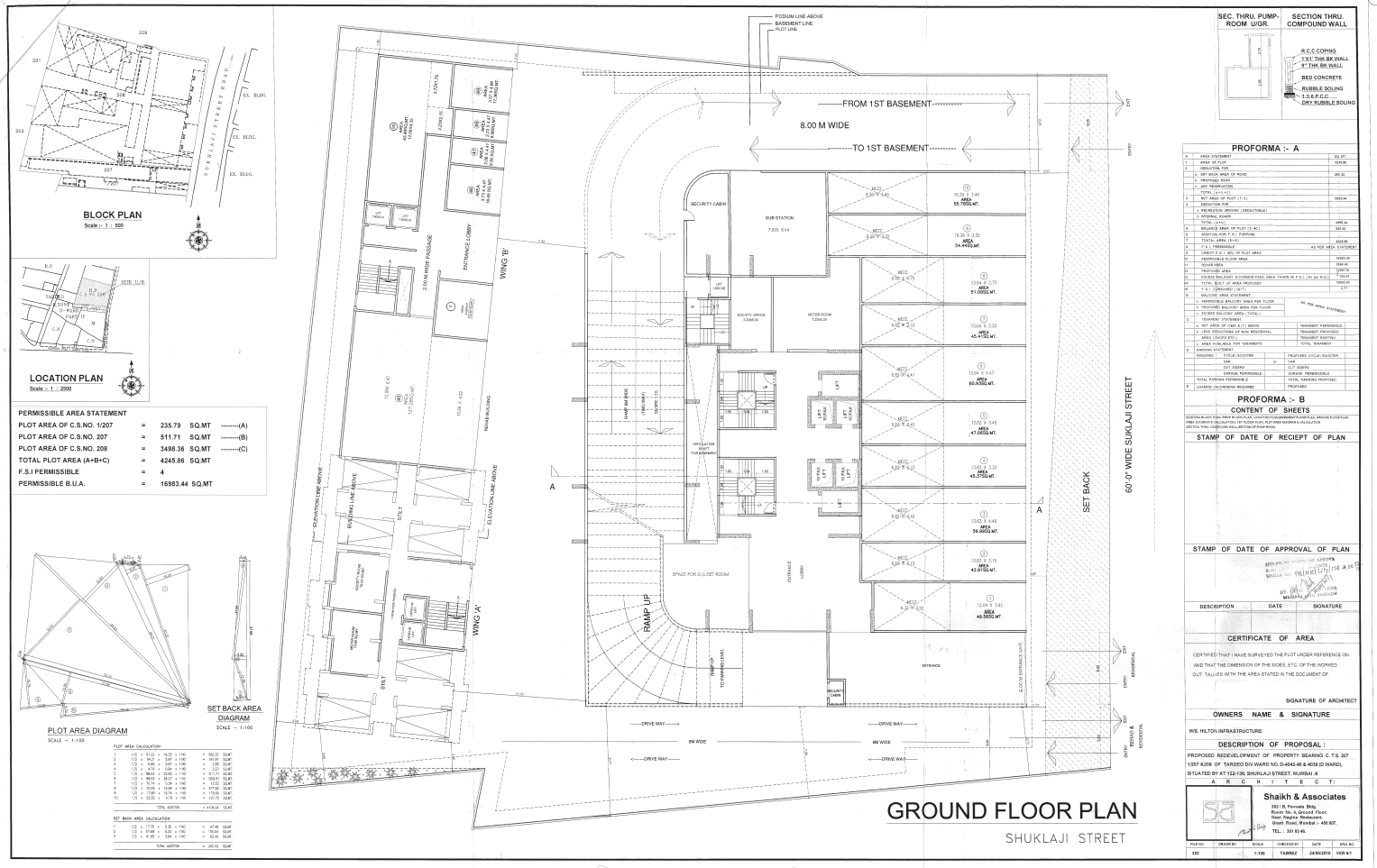
However, Ch. Eng. (D.P.) is requested to verify the total built up area & inform this Department if it is more for the purpose of levying additional Capitation Fee, if required.

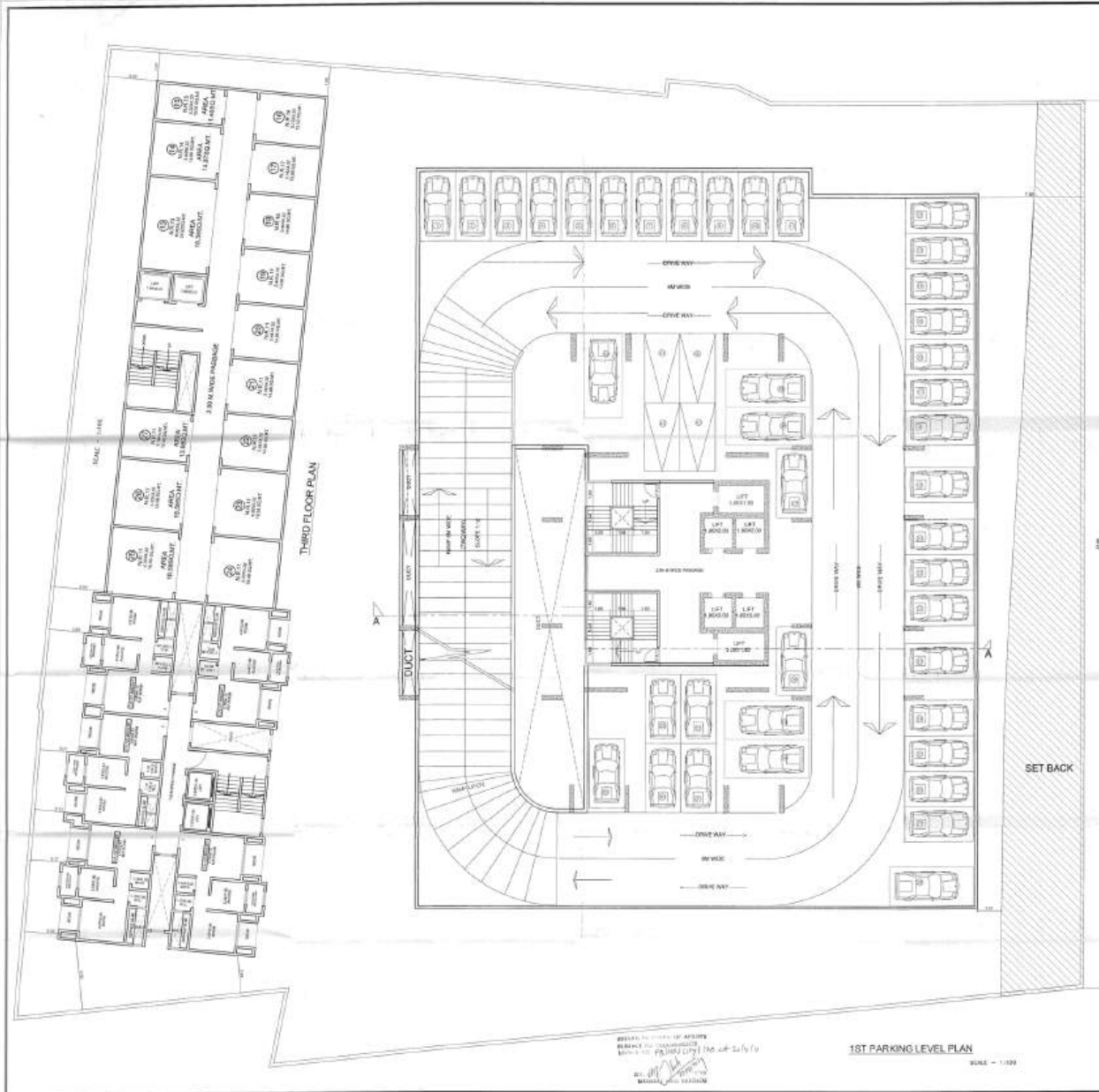
sd/
Dy. Chief Fire Officer
Mumbai Fire Brigade.

Copy to -

1. E.E.B.P.(City)
- ✓ 2. M/s.Shaikh & Associates, Architect.

M. Shaikh
Dy. Chief Fire Officer
Mumbai Fire Brigade.





REFUGE AREA CALCULATION

REFUGE AREA REQUIRED ON 1ST FLOOR
 REFUGE AREA REQUIRED ON 2ND FLOOR
 TOTAL
 REFUGE AREA REQUIRED ON 3RD FLOOR
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PROFORMA - B
CONTENT OF SHEETS
 FLOOR PLANS, AREA DIAGRAM & CALCULATION

STAMP OF DATE OF RECEIPT OF PLAN

STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE
 M/S. HETION INFRASTRUCTURE

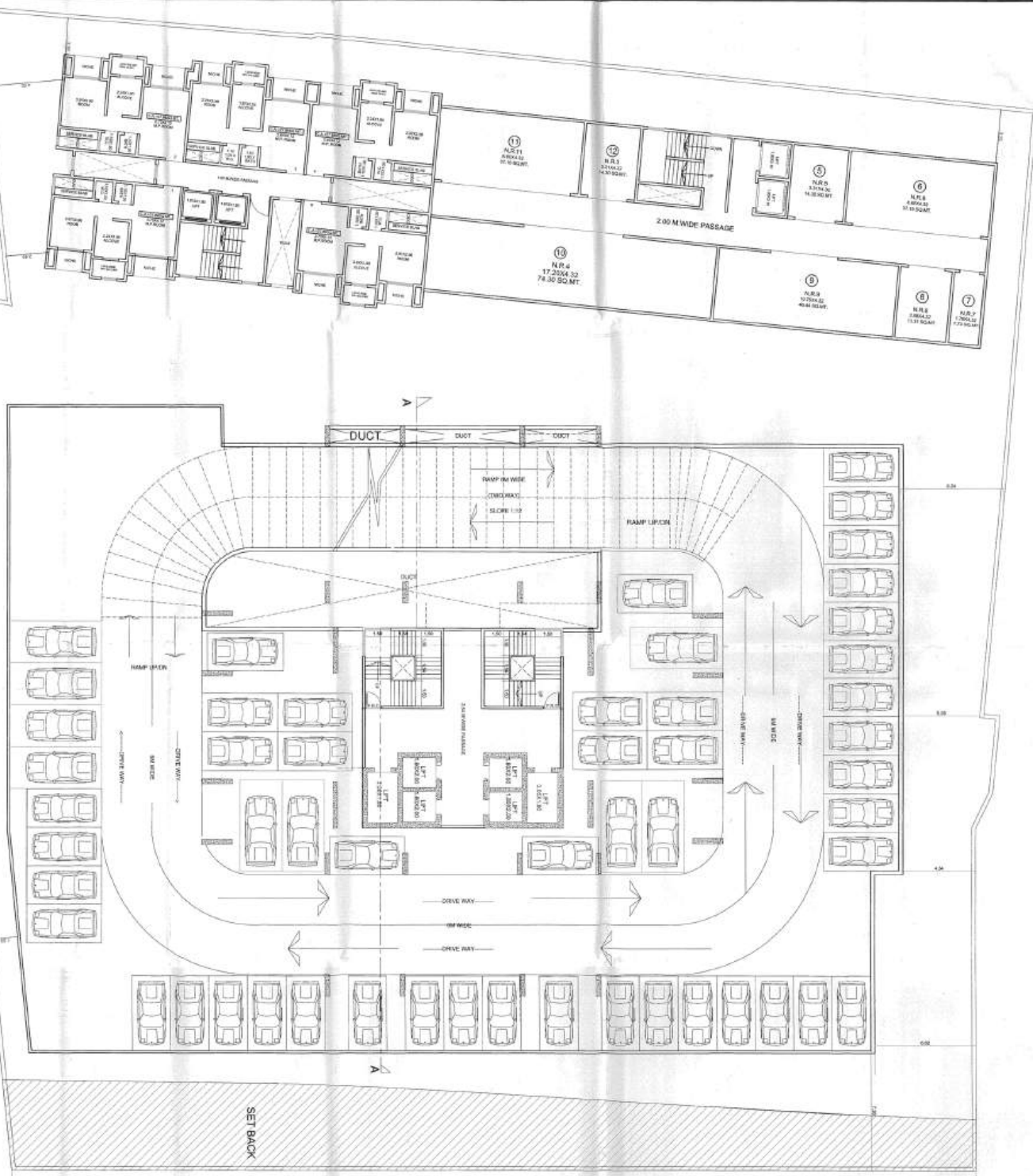
DESCRIPTION OF PROPOSAL:
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 1207 208 CP TANKER BUNGALOW NO. D-404-48 & 409 (2) MARVEL
 SITUATED BY AT 123 CR. SHAKLAJI STREET, MUMBAI 4

Shaikh & Associates
 101, E. Prabhakar Road,
 Near N. K. Shivaji Park,
 New Nigadi Bypass,
 Opp. Road No. 1, 200 007
 TEL: 221 61 45

SL. NO.	OWNER'S	SCALE	DATE	DATE	DATE	DATE
001		1:500	TARAZ	14/06/2010	VER 01	

DESIGNED BY: ARCHITECTS
 PREPARED BY: ARCHITECTS
 CHECKED BY: ARCHITECTS
 APPROVED BY: ARCHITECTS

18TH PARKING LEVEL PLAN
 SCALE - 1:200



2ND TO 6TH TYPICAL PARKING LEVEL PLAN
SCALE = 1:150

Shahk & Associates
 1101 West 10th Street
 Vancouver, BC V6H 2G6
 TEL: 604-681-8888

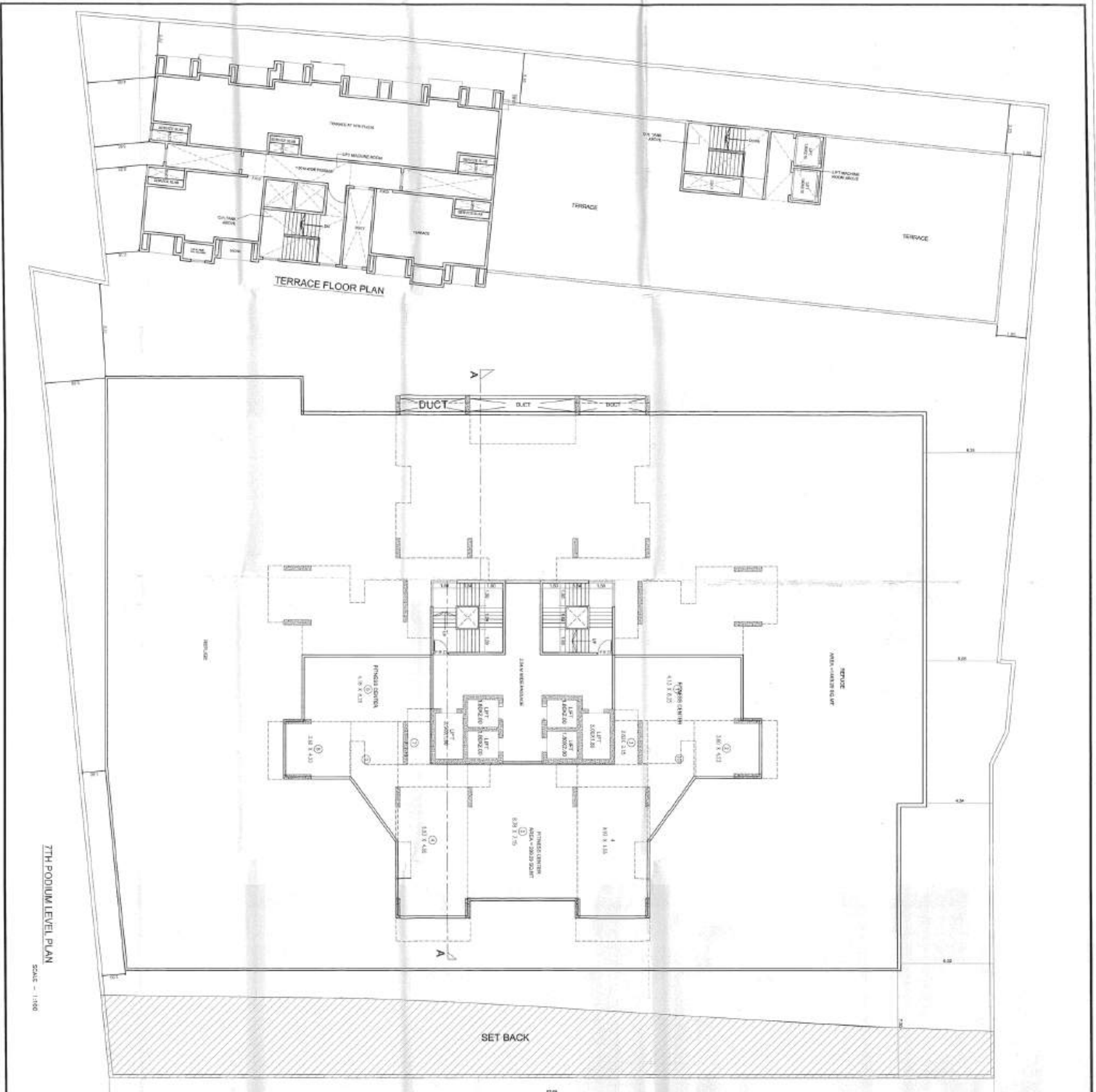
APPROVED BY: [Signature]
 PROJECT NO. 1101 WEST 10TH STREET
 SHEET NO. 684 OF 684
 DATE: 2011-08-15

PROFORMA - B
 CONTENT OF SHEETS
 FLOOR PLANS, AREA, DISTANCE & CALCULATION

STAMP OF DATE OF RECEIPT OF PLAN
 STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE
 DESCRIPTION OF PROPOSAL:
 PROPOSED RECONSTRUCTION OF 1101 WEST 10TH STREET FROM 1101 WEST 10TH STREET TO 1101 WEST 11TH STREET, VICTORIA, BRITISH COLUMBIA

PLAN NO.	684
DATE	2011-08-15
SCALE	1:150
PROJECT	1101 WEST 10TH STREET
CLIENT	SHAHK & ASSOCIATES
DESIGNER	SHAHK & ASSOCIATES
DATE	2011-08-15



7TH PODIUM LEVEL PLAN
SCALE - 1:200

APPROVED IN THE NAME OF THE ARCHITECT
 REGISTERED ARCHITECT
 DR. *[Signature]*
 REGISTERED ARCHITECT

PROFORMA :- B
 CONTENT OF SHEETS
 FLOOR PLANS, AREA, DIMENSIONS & CALCULATION

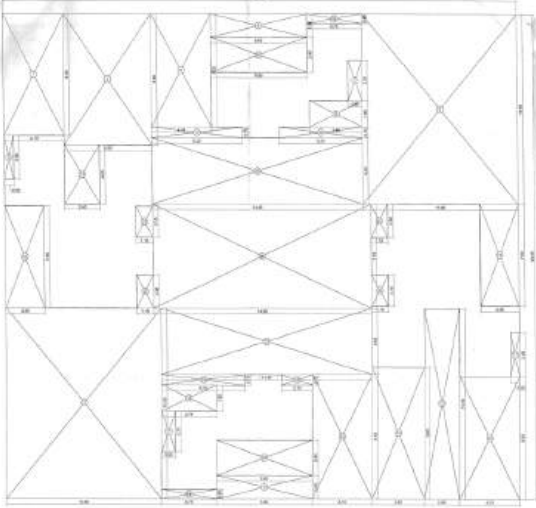
STAMP OF DATE OF RECEIPT OF PLAN

STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE

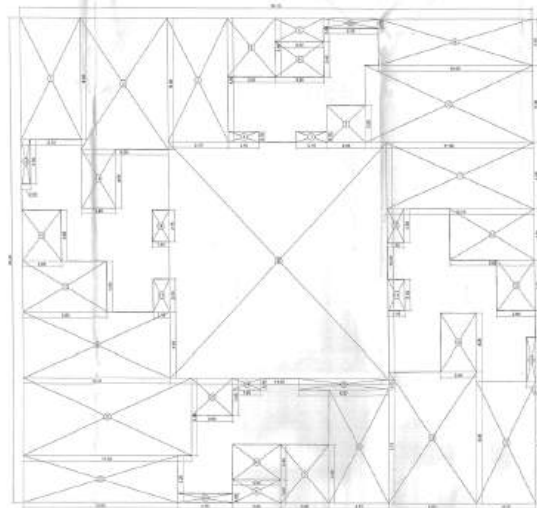
DESCRIPTION OF PROPOSAL :-
 PROPOSED RECONSTRUCTION OF PROPERTY BEARING C.T.S. 207
 1207 8208 OF TANDON OVERWALL NO. D-444-44 & 423 B WARD
 SITUATED BY AT 732, 316, SHIVALA STREET, MUMBAI - 4

Shah & Associates
 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



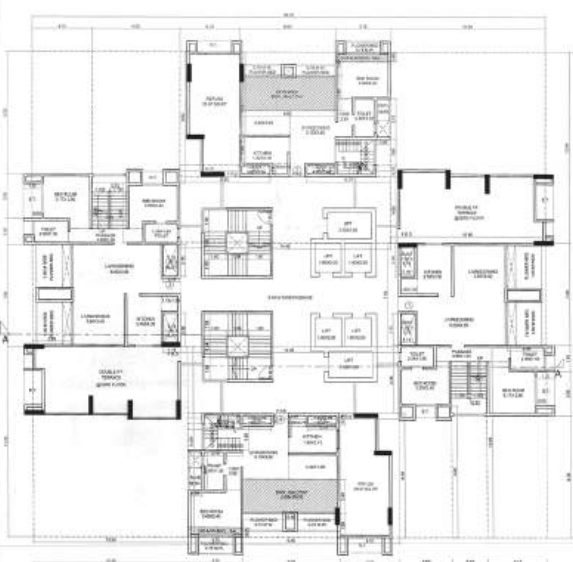
SAY OF AREA CALCULATION	
FOR 33RD DUPLEX	
NO.	AREA (SQ. FT.)
1	1,450.00
2	1,450.00
3	1,450.00
4	1,450.00
5	1,450.00
6	1,450.00
7	1,450.00
8	1,450.00
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43	1,450.00
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90	1,450.00
91	1,450.00
92	1,450.00
93	1,450.00
94	1,450.00
95	1,450.00
96	1,450.00
97	1,450.00
98	1,450.00
99	1,450.00
100	1,450.00
TOTAL AREA	145,000.00

LINE DIAGRAM FOR 33RD DUPLEX LOWER LVL. FLOOR PLAN
SCALE - 1/100

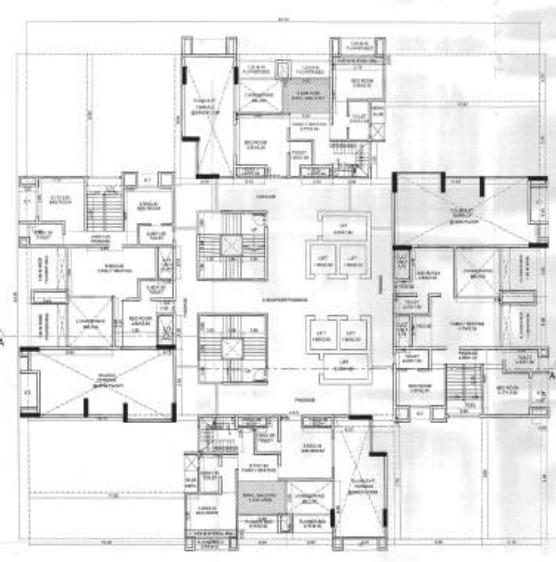


SAY OF AREA CALCULATION	
FOR 34TH DUPLEX	
NO.	AREA (SQ. FT.)
1	1,450.00
2	1,450.00
3	1,450.00
4	1,450.00
5	1,450.00
6	1,450.00
7	1,450.00
8	1,450.00
9	1,450.00
10	1,450.00
11	1,450.00
12	1,450.00
13	1,450.00
14	1,450.00
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19	1,450.00
20	1,450.00
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90	1,450.00
91	1,450.00
92	1,450.00
93	1,450.00
94	1,450.00
95	1,450.00
96	1,450.00
97	1,450.00
98	1,450.00
99	1,450.00
100	1,450.00
TOTAL AREA	145,000.00

LINE DIAGRAM FOR 34TH DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1/100



33RD DUPLEX LOWER LVL.
SCALE - 1/100



34TH DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1/100

PROFORMA - II
CONTENT OF SHEETS
FLOOR PLANS, AREA CALCULATION

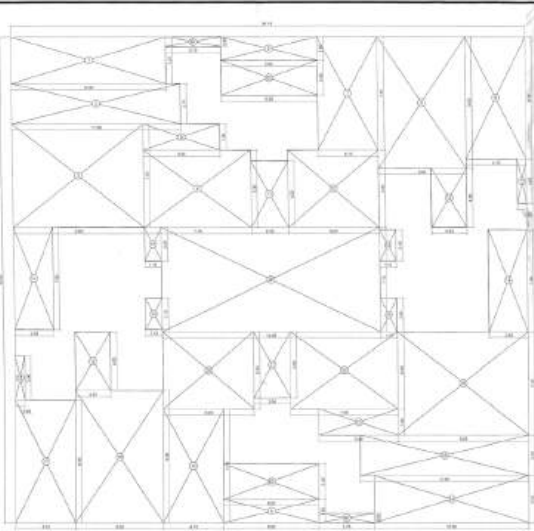
STAMP OF DATE OF RECEIPT OF PLAN

STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE

DESCRIPTION OF PROPOSAL:
PROPOSED RECONSTRUCTION OF "HEARTY" BUILDING, 3.3. OF 10TH FLOOR OF TOWER ON WING NO. C-AND-S 60th & 61st FLOOR, SHERATON AT 60th, BANGAL STREET, KASABA A.

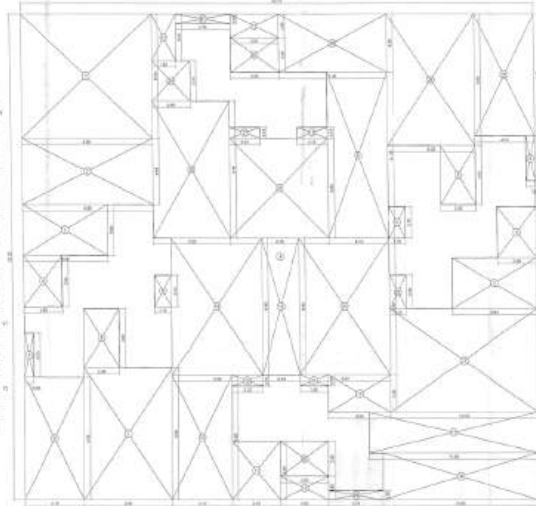
Shah & Associates
101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000



LIST OF AREA CALCULATION
FOR SPECIAL FLOOR

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL AREA
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
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21
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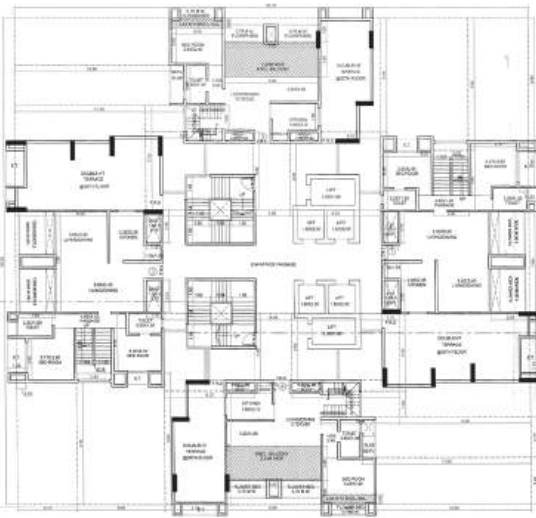
LINE DIAGRAM FOR 35TH
DUPLEX LOWER LVL.
SCALE - 1/100



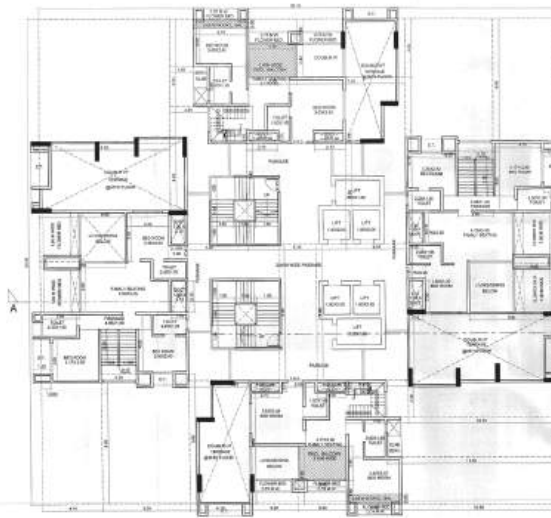
LIST OF AREA CALCULATION
FOR SPECIAL FLOOR

NO.	DESCRIPTION	AREA (SQ. FT.)	TOTAL AREA
1
2
3
4
5
6
7
8
9
10
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17
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19
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99
100

LINE DIAGRAM FOR 36TH
DUPLEX UPPER LVL.
SCALE - 1/100



35TH DUPLEX LOWER LVL.
SCALE - 1/100



36TH DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1/100

PROFORMA - B
CONTENTS SHEETS
FLOOR PLAN WORK SHEETS & CALCULATIONS

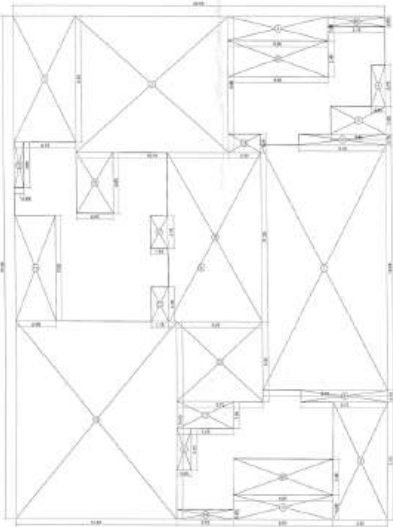
STAMP OF DATE OF RECEIPT OF PLAN

STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE

DESCRIPTION OF PROPOSAL:
PROPOSED IMPROVEMENT OF PROPERTY LOCATED AT THE SITE
INDICATED BY THE SURVEYING ENGINEER'S AND PROVIDED
STATED BY AT-10-FOR-SHA-2-A-SHEET NUMBER 4

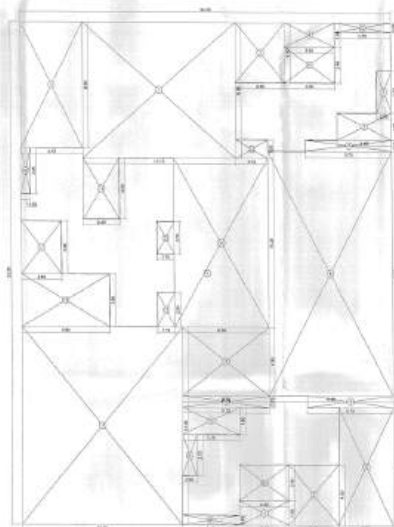
Shaikh & Associates
201-20-10000-1000
P.O. Box 10000, Doha, Qatar
Doha, Qatar
Phone: +974 4411 1111
Fax: +974 4411 1111
E-mail: shaikh@shaikh.com.qa



LINE DIAGRAM FOR 37TH
DUPLEX LOWER LVL.

SCALE = 1:100

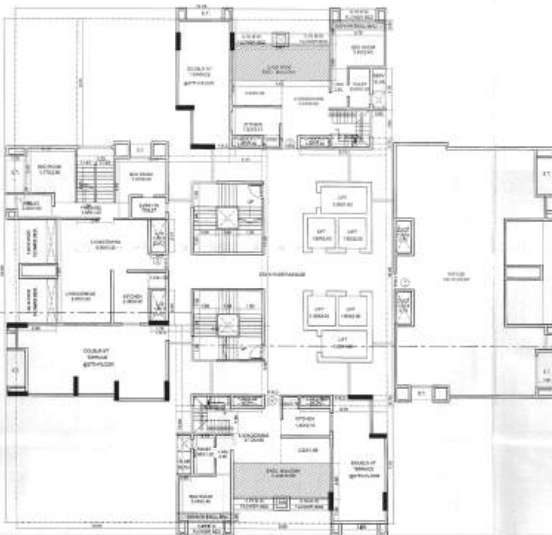
BILL OF AREA OCCUPATION	
FOR THE PROPOSED DUPLEX UNIT	
NO.	DESCRIPTION
1	APR. 1.000 X 1.000 = 1.000 SQM
2	APR. 2.000 X 1.000 = 2.000 SQM
3	APR. 3.000 X 1.000 = 3.000 SQM
4	APR. 4.000 X 1.000 = 4.000 SQM
5	APR. 5.000 X 1.000 = 5.000 SQM
6	APR. 6.000 X 1.000 = 6.000 SQM
7	APR. 7.000 X 1.000 = 7.000 SQM
8	APR. 8.000 X 1.000 = 8.000 SQM
9	APR. 9.000 X 1.000 = 9.000 SQM
10	APR. 10.000 X 1.000 = 10.000 SQM
11	APR. 11.000 X 1.000 = 11.000 SQM
12	APR. 12.000 X 1.000 = 12.000 SQM
13	APR. 13.000 X 1.000 = 13.000 SQM
14	APR. 14.000 X 1.000 = 14.000 SQM
15	APR. 15.000 X 1.000 = 15.000 SQM
16	APR. 16.000 X 1.000 = 16.000 SQM
17	APR. 17.000 X 1.000 = 17.000 SQM
18	APR. 18.000 X 1.000 = 18.000 SQM
19	APR. 19.000 X 1.000 = 19.000 SQM
20	APR. 20.000 X 1.000 = 20.000 SQM
21	APR. 21.000 X 1.000 = 21.000 SQM
22	APR. 22.000 X 1.000 = 22.000 SQM
23	APR. 23.000 X 1.000 = 23.000 SQM
24	APR. 24.000 X 1.000 = 24.000 SQM
25	APR. 25.000 X 1.000 = 25.000 SQM
26	APR. 26.000 X 1.000 = 26.000 SQM
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28	APR. 28.000 X 1.000 = 28.000 SQM
29	APR. 29.000 X 1.000 = 29.000 SQM
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33	APR. 33.000 X 1.000 = 33.000 SQM
34	APR. 34.000 X 1.000 = 34.000 SQM
35	APR. 35.000 X 1.000 = 35.000 SQM
36	APR. 36.000 X 1.000 = 36.000 SQM
37	APR. 37.000 X 1.000 = 37.000 SQM
38	APR. 38.000 X 1.000 = 38.000 SQM
39	APR. 39.000 X 1.000 = 39.000 SQM
40	APR. 40.000 X 1.000 = 40.000 SQM
41	APR. 41.000 X 1.000 = 41.000 SQM
42	APR. 42.000 X 1.000 = 42.000 SQM
43	APR. 43.000 X 1.000 = 43.000 SQM
44	APR. 44.000 X 1.000 = 44.000 SQM
45	APR. 45.000 X 1.000 = 45.000 SQM
46	APR. 46.000 X 1.000 = 46.000 SQM
47	APR. 47.000 X 1.000 = 47.000 SQM
48	APR. 48.000 X 1.000 = 48.000 SQM
49	APR. 49.000 X 1.000 = 49.000 SQM
50	APR. 50.000 X 1.000 = 50.000 SQM
51	APR. 51.000 X 1.000 = 51.000 SQM
52	APR. 52.000 X 1.000 = 52.000 SQM
53	APR. 53.000 X 1.000 = 53.000 SQM
54	APR. 54.000 X 1.000 = 54.000 SQM
55	APR. 55.000 X 1.000 = 55.000 SQM
56	APR. 56.000 X 1.000 = 56.000 SQM
57	APR. 57.000 X 1.000 = 57.000 SQM
58	APR. 58.000 X 1.000 = 58.000 SQM
59	APR. 59.000 X 1.000 = 59.000 SQM
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61	APR. 61.000 X 1.000 = 61.000 SQM
62	APR. 62.000 X 1.000 = 62.000 SQM
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64	APR. 64.000 X 1.000 = 64.000 SQM
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66	APR. 66.000 X 1.000 = 66.000 SQM
67	APR. 67.000 X 1.000 = 67.000 SQM
68	APR. 68.000 X 1.000 = 68.000 SQM
69	APR. 69.000 X 1.000 = 69.000 SQM
70	APR. 70.000 X 1.000 = 70.000 SQM
71	APR. 71.000 X 1.000 = 71.000 SQM
72	APR. 72.000 X 1.000 = 72.000 SQM
73	APR. 73.000 X 1.000 = 73.000 SQM
74	APR. 74.000 X 1.000 = 74.000 SQM
75	APR. 75.000 X 1.000 = 75.000 SQM
76	APR. 76.000 X 1.000 = 76.000 SQM
77	APR. 77.000 X 1.000 = 77.000 SQM
78	APR. 78.000 X 1.000 = 78.000 SQM
79	APR. 79.000 X 1.000 = 79.000 SQM
80	APR. 80.000 X 1.000 = 80.000 SQM
81	APR. 81.000 X 1.000 = 81.000 SQM
82	APR. 82.000 X 1.000 = 82.000 SQM
83	APR. 83.000 X 1.000 = 83.000 SQM
84	APR. 84.000 X 1.000 = 84.000 SQM
85	APR. 85.000 X 1.000 = 85.000 SQM
86	APR. 86.000 X 1.000 = 86.000 SQM
87	APR. 87.000 X 1.000 = 87.000 SQM
88	APR. 88.000 X 1.000 = 88.000 SQM
89	APR. 89.000 X 1.000 = 89.000 SQM
90	APR. 90.000 X 1.000 = 90.000 SQM
91	APR. 91.000 X 1.000 = 91.000 SQM
92	APR. 92.000 X 1.000 = 92.000 SQM
93	APR. 93.000 X 1.000 = 93.000 SQM
94	APR. 94.000 X 1.000 = 94.000 SQM
95	APR. 95.000 X 1.000 = 95.000 SQM
96	APR. 96.000 X 1.000 = 96.000 SQM
97	APR. 97.000 X 1.000 = 97.000 SQM
98	APR. 98.000 X 1.000 = 98.000 SQM
99	APR. 99.000 X 1.000 = 99.000 SQM
100	APR. 100.000 X 1.000 = 100.000 SQM
TOTAL AREA = 100.000 SQM	



LINE DIAGRAM FOR 38TH
DUPLEX UPPER LVL. FLOOR PLAN

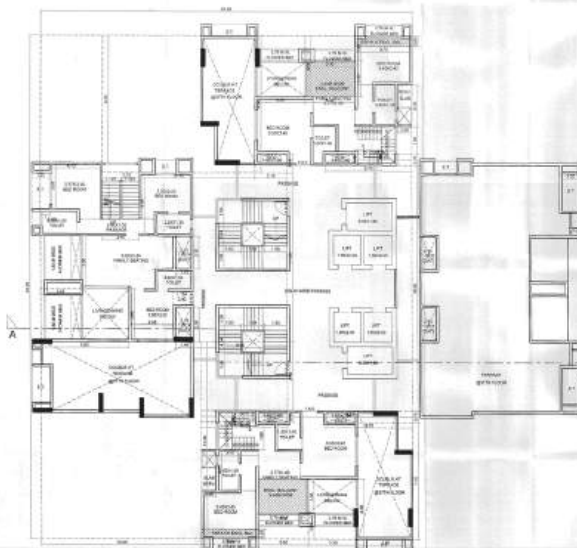
SCALE = 1:100

BILL OF AREA OCCUPATION	
FOR THE PROPOSED DUPLEX UNIT	
NO.	DESCRIPTION
1	APR. 1.000 X 1.000 = 1.000 SQM
2	APR. 2.000 X 1.000 = 2.000 SQM
3	APR. 3.000 X 1.000 = 3.000 SQM
4	APR. 4.000 X 1.000 = 4.000 SQM
5	APR. 5.000 X 1.000 = 5.000 SQM
6	APR. 6.000 X 1.000 = 6.000 SQM
7	APR. 7.000 X 1.000 = 7.000 SQM
8	APR. 8.000 X 1.000 = 8.000 SQM
9	APR. 9.000 X 1.000 = 9.000 SQM
10	APR. 10.000 X 1.000 = 10.000 SQM
11	APR. 11.000 X 1.000 = 11.000 SQM
12	APR. 12.000 X 1.000 = 12.000 SQM
13	APR. 13.000 X 1.000 = 13.000 SQM
14	APR. 14.000 X 1.000 = 14.000 SQM
15	APR. 15.000 X 1.000 = 15.000 SQM
16	APR. 16.000 X 1.000 = 16.000 SQM
17	APR. 17.000 X 1.000 = 17.000 SQM
18	APR. 18.000 X 1.000 = 18.000 SQM
19	APR. 19.000 X 1.000 = 19.000 SQM
20	APR. 20.000 X 1.000 = 20.000 SQM
21	APR. 21.000 X 1.000 = 21.000 SQM
22	APR. 22.000 X 1.000 = 22.000 SQM
23	APR. 23.000 X 1.000 = 23.000 SQM
24	APR. 24.000 X 1.000 = 24.000 SQM
25	APR. 25.000 X 1.000 = 25.000 SQM
26	APR. 26.000 X 1.000 = 26.000 SQM
27	APR. 27.000 X 1.000 = 27.000 SQM
28	APR. 28.000 X 1.000 = 28.000 SQM
29	APR. 29.000 X 1.000 = 29.000 SQM
30	APR. 30.000 X 1.000 = 30.000 SQM
31	APR. 31.000 X 1.000 = 31.000 SQM
32	APR. 32.000 X 1.000 = 32.000 SQM
33	APR. 33.000 X 1.000 = 33.000 SQM
34	APR. 34.000 X 1.000 = 34.000 SQM
35	APR. 35.000 X 1.000 = 35.000 SQM
36	APR. 36.000 X 1.000 = 36.000 SQM
37	APR. 37.000 X 1.000 = 37.000 SQM
38	APR. 38.000 X 1.000 = 38.000 SQM
39	APR. 39.000 X 1.000 = 39.000 SQM
40	APR. 40.000 X 1.000 = 40.000 SQM
41	APR. 41.000 X 1.000 = 41.000 SQM
42	APR. 42.000 X 1.000 = 42.000 SQM
43	APR. 43.000 X 1.000 = 43.000 SQM
44	APR. 44.000 X 1.000 = 44.000 SQM
45	APR. 45.000 X 1.000 = 45.000 SQM
46	APR. 46.000 X 1.000 = 46.000 SQM
47	APR. 47.000 X 1.000 = 47.000 SQM
48	APR. 48.000 X 1.000 = 48.000 SQM
49	APR. 49.000 X 1.000 = 49.000 SQM
50	APR. 50.000 X 1.000 = 50.000 SQM
51	APR. 51.000 X 1.000 = 51.000 SQM
52	APR. 52.000 X 1.000 = 52.000 SQM
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61	APR. 61.000 X 1.000 = 61.000 SQM
62	APR. 62.000 X 1.000 = 62.000 SQM
63	APR. 63.000 X 1.000 = 63.000 SQM
64	APR. 64.000 X 1.000 = 64.000 SQM
65	APR. 65.000 X 1.000 = 65.000 SQM
66	APR. 66.000 X 1.000 = 66.000 SQM
67	APR. 67.000 X 1.000 = 67.000 SQM
68	APR. 68.000 X 1.000 = 68.000 SQM
69	APR. 69.000 X 1.000 = 69.000 SQM
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71	APR. 71.000 X 1.000 = 71.000 SQM
72	APR. 72.000 X 1.000 = 72.000 SQM
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74	APR. 74.000 X 1.000 = 74.000 SQM
75	APR. 75.000 X 1.000 = 75.000 SQM
76	APR. 76.000 X 1.000 = 76.000 SQM
77	APR. 77.000 X 1.000 = 77.000 SQM
78	APR. 78.000 X 1.000 = 78.000 SQM
79	APR. 79.000 X 1.000 = 79.000 SQM
80	APR. 80.000 X 1.000 = 80.000 SQM
81	APR. 81.000 X 1.000 = 81.000 SQM
82	APR. 82.000 X 1.000 = 82.000 SQM
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94	APR. 94.000 X 1.000 = 94.000 SQM
95	APR. 95.000 X 1.000 = 95.000 SQM
96	APR. 96.000 X 1.000 = 96.000 SQM
97	APR. 97.000 X 1.000 = 97.000 SQM
98	APR. 98.000 X 1.000 = 98.000 SQM
99	APR. 99.000 X 1.000 = 99.000 SQM
100	APR. 100.000 X 1.000 = 100.000 SQM
TOTAL AREA = 100.000 SQM	



37TH DUPLEX LOWER LVL.

SCALE = 1:100



38TH DUPLEX UPPER LVL. FLOOR PLAN

SCALE = 1:100

PROFORMA - B
CONTENT OF SHEETS
FLOOR PLANS AND CHIMNEY CALCULATION

STAMP OF DATE OF RECEIPT OF PLAN

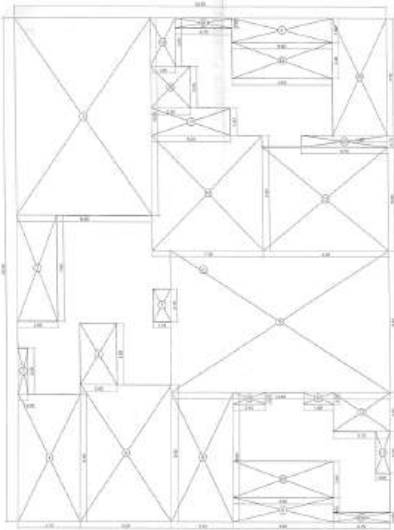
STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE

DESCRIPTION OF PROPOSAL:
PROPOSED REDEVELOPMENT OF PROPERTY BEARING C 1.8.20
120' x 220' OF WARDEN AVENUE NO. 2400-464-400 (WARDEN),
GRATED BY AT-01-08 (W.A.S.) STREET WARDEN

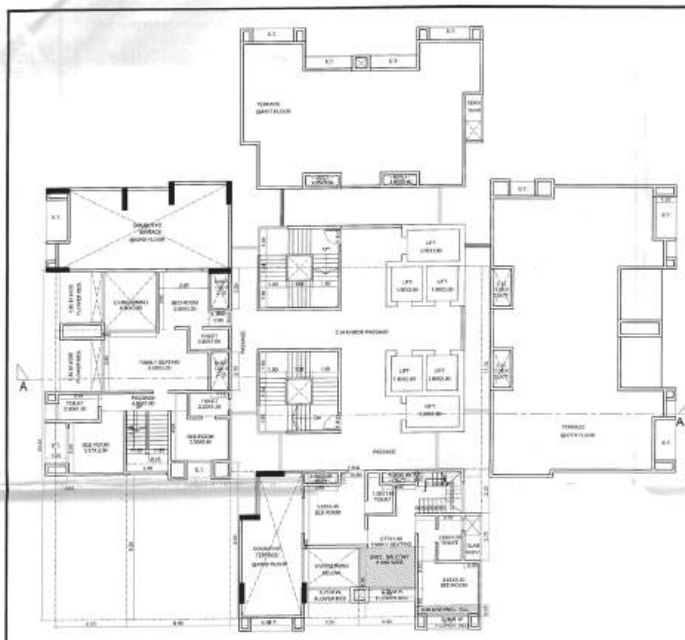
Shah & Associates
301 St. Patrick St.
Suite 301, St. Patrick St.
St. Patrick St., Toronto, Ontario
M5C 1K6
Tel: (416) 593-8888

NO.	ISSUED	DATE	BY
10	1:00	FURUS	02/03/01

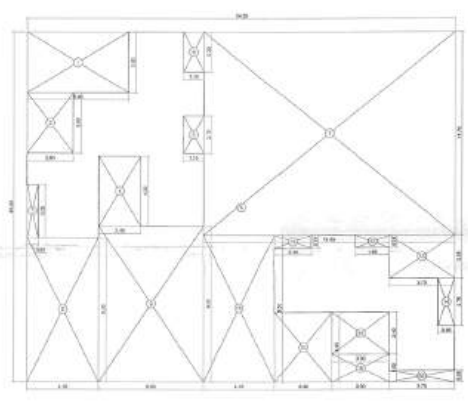


LIST OF AREA CALCULATION FOR 39TH FLOOR

NO.	DESCRIPTION	AREA (SQ. M)	AREA (SQ. FT)
1	390	11.0	118
2	391	11.0	118
3	392	11.0	118
4	393	11.0	118
5	394	11.0	118
6	395	11.0	118
7	396	11.0	118
8	397	11.0	118
9	398	11.0	118
10	399	11.0	118
11	400	11.0	118
12	401	11.0	118
13	402	11.0	118
14	403	11.0	118
15	404	11.0	118
16	405	11.0	118
17	406	11.0	118
18	407	11.0	118
19	408	11.0	118
20	409	11.0	118
21	410	11.0	118
22	411	11.0	118
23	412	11.0	118
24	413	11.0	118
25	414	11.0	118
26	415	11.0	118
27	416	11.0	118
28	417	11.0	118
29	418	11.0	118
30	419	11.0	118
31	420	11.0	118
32	421	11.0	118
33	422	11.0	118
34	423	11.0	118
35	424	11.0	118
36	425	11.0	118
37	426	11.0	118
38	427	11.0	118
39	428	11.0	118
40	429	11.0	118
41	430	11.0	118
42	431	11.0	118
43	432	11.0	118
44	433	11.0	118
45	434	11.0	118
46	435	11.0	118
47	436	11.0	118
48	437	11.0	118
49	438	11.0	118
50	439	11.0	118
51	440	11.0	118
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83	472	11.0	118
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85	474	11.0	118
86	475	11.0	118
87	476	11.0	118
88	477	11.0	118
89	478	11.0	118
90	479	11.0	118
91	480	11.0	118
92	481	11.0	118
93	482	11.0	118
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152	541	11.0	118
153	542	11.0	118
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155	544	11.0	118
156	545	11.0	118
157	546	11.0	118
158	547	11.0	118
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160	549	11.0	118
161	550	11.0	118
162	551	11.0	118
163	552	11.0	118
164	553	11.0	118
165	554	11.0	118
166	555	11.0	118
167	556	11.0	118
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324			



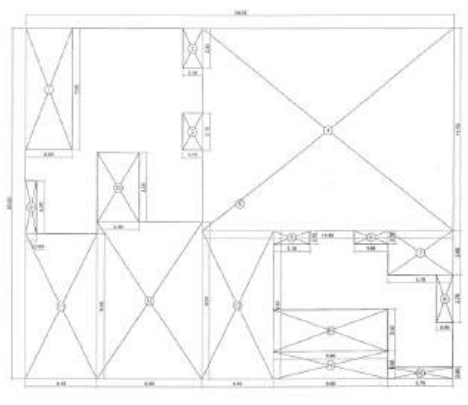
44TH DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1:100



LINE DIAGRAM FOR 44TH DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1:100



43RD DUPLEX LOWER LVL.
SCALE - 1:100



LINE DIAGRAM FOR 43RD DUPLEX UPPER LVL. FLOOR PLAN
SCALE - 1:100

DESIGNED BY: TONYO B. ATENYO
CHECKED BY: JESSIE M. LACUNA
DATE: 05/11/2011
BY: JESSIE M. LACUNA
REGISTERED ARCHITECT

BUILT UP AREA CALCULATION FOR 44TH FLOOR

#	AREA	#	AREA	#	AREA	#	AREA
1	2.28	7	1.78	13	1.80	19	1.80
2	1.78	8	1.50	14	1.50	20	1.50
3	1.50	9	1.50	15	1.50	21	1.50
4	1.50	10	1.50	16	1.50	22	1.50
5	1.50	11	1.50	17	1.50	23	1.50
6	1.50	12	1.50	18	1.50	24	1.50
TOTAL BUILT UP AREA							
= 40.51 SQ.M.							

BALCONY AREA CALCULATION FOR 44TH FLOOR

#	AREA	#	AREA	#	AREA
1	1.50	7	1.50	13	1.50
2	1.50	8	1.50	14	1.50
3	1.50	9	1.50	15	1.50
4	1.50	10	1.50	16	1.50
5	1.50	11	1.50	17	1.50
6	1.50	12	1.50	18	1.50
TOTAL BALCONY AREA					
= 10.50 SQ.M.					

TOTAL BUILT UP AREA
= 51.01 SQ.M.

BUILT UP AREA CALCULATION FOR 43RD FLOOR

#	AREA	#	AREA	#	AREA	#	AREA
1	2.28	7	1.78	13	1.80	19	1.80
2	1.78	8	1.50	14	1.50	20	1.50
3	1.50	9	1.50	15	1.50	21	1.50
4	1.50	10	1.50	16	1.50	22	1.50
5	1.50	11	1.50	17	1.50	23	1.50
6	1.50	12	1.50	18	1.50	24	1.50
TOTAL BUILT UP AREA							
= 40.51 SQ.M.							

BALCONY AREA CALCULATION FOR 43RD FLOOR

#	AREA	#	AREA	#	AREA
1	1.50	7	1.50	13	1.50
2	1.50	8	1.50	14	1.50
3	1.50	9	1.50	15	1.50
4	1.50	10	1.50	16	1.50
5	1.50	11	1.50	17	1.50
6	1.50	12	1.50	18	1.50
TOTAL BALCONY AREA					
= 10.50 SQ.M.					

TOTAL BUILT UP AREA
= 51.01 SQ.M.

PROFORMA - B
CONTENT OF SHEETS

FLOOR PLANS AREA DIAGRAM & CALCULATION

STAMP OF DATE OF RECEIPT OF PLAN

STAMP OF DATE OF APPROVAL OF PLAN

OWNERS NAME & SIGNATURE
MS. HILTON REFINANCE

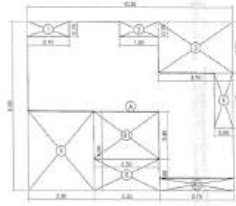
DESCRIPTION OF PROPOSAL:
PROPOSED RECONSTRUCTION OF PROPERTY LOCATED AT C. T.S. 207
1500 SQ.M. OF PARCELS BOUNDARY COORDINATES AS SHOWN BY PLAN.
SITUALED BY 4742-138, SUCROA 2 STREET, MARIKINA

Shaikh & Associates
202 J. B. Fernald Drive,
Pasig City, Rizal, Philippines
Mobile: 0917-888-8888
Tel: 02-888-8888
Fax: 02-888-8888

FILE NO.	REVISION	DATE	APPROVED BY	DATE	BY
001					



48TH DUPLEX UPPER LVL. PLAN
SCALE - 1:100

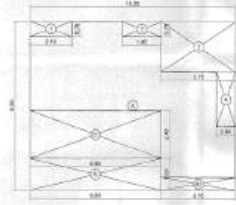


LINE DIAGRAM FOR 48TH DUPLEX UPPER LVL. PLAN
SCALE - 1:100

BUILD UP AREA CALCULATION FOR 48TH FLOOR	
A	10.25 X 6.51 X 180 = 1136 SQ.M
TOTAL AREA(SH) = 1136 SQ.M	
SECTIONS	
1	2.10 X 0.75 X 180 = 283 SQ.M
2	1.35 X 0.75 X 180 = 176 SQ.M
3	2.25 X 0.75 X 180 = 304 SQ.M
4	2.25 X 0.75 X 180 = 304 SQ.M
5	1.35 X 0.75 X 180 = 176 SQ.M
6	1.35 X 0.75 X 180 = 176 SQ.M
TOTAL SECTIONS = 1520 SQ.M	
BALCONY AREA CALCULATION FOR 48TH FLOOR	
B1	1.35 X 2.40 X 180 = 540 SQ.M
B2	2.25 X 0.65 X 180 = 227 SQ.M
TOTAL BALCONY AREA PER FLOOR FOR UPPER FLOOR = 767 SQ.M	
TOTAL PROPOSED BUILD UP AREA PER FLOOR = 1903 SQ.M	
PERMITTED BALCONY AREA = 528 SQ.M	
TOTAL BALCONY AREA = 767 SQ.M	
TOTAL BUILD UP AREA = 2670 SQ.M	




47TH DUPLEX LOWER LVL. PLAN
SCALE - 1:100

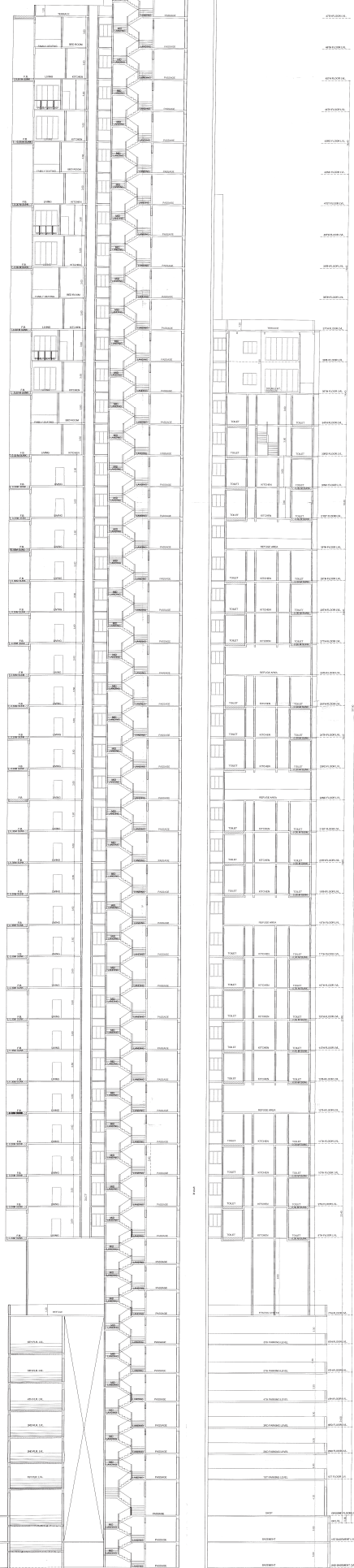


LINE DIAGRAM FOR 47TH DUPLEX LOWER LVL. PLAN
SCALE - 1:100

BUILD UP AREA CALCULATION FOR 47TH FLOOR	
A	11.25 X 6.51 X 180 = 1350 SQ.M
TOTAL AREA(SH) = 1350 SQ.M	
SECTIONS	
1	1.35 X 0.75 X 180 = 176 SQ.M
2	1.35 X 0.75 X 180 = 176 SQ.M
3	2.25 X 0.75 X 180 = 304 SQ.M
4	2.25 X 0.75 X 180 = 304 SQ.M
5	1.35 X 0.75 X 180 = 176 SQ.M
TOTAL SECTIONS = 1236 SQ.M	
BALCONY AREA CALCULATION FOR 47TH FLOOR	
B1	1.35 X 2.40 X 180 = 540 SQ.M
B2	2.25 X 0.65 X 180 = 227 SQ.M
TOTAL BALCONY AREA PER FLOOR FOR LOWER FLOOR = 767 SQ.M	
TOTAL PROPOSED BUILD UP AREA PER FLOOR = 2123 SQ.M	
PERMITTED BALCONY AREA = 528 SQ.M	
TOTAL BALCONY AREA = 767 SQ.M	
TOTAL BUILD UP AREA = 2890 SQ.M	

APPROVED BY: [Signature]
DATE: 12/12/2019
BY: [Signature]
MUNICIPALITY: [Signature]

PROFORMA - B	
CONTENT OF SHEETS	
FLOOR PLANS, AREA DIAGRAM & CALCULATION	
STAMP OF DATE OF RECEIPT OF PLAN	
STAMP OF DATE OF APPROVAL OF PLAN	
OWNERS NAME & SIGNATURE	
M/S. HELTON INFRASTRUCTURE	
DESCRIPTION OF PROPOSAL:	
PROPOSED REDEVELOPMENT OF PROPERTY BEARING C.T.S. 207 100/1 & 338 OF TARGOE DIVISION NO. 0450248 & 403 (D) BOARD, SITUATED BY AT 122-158, SHUKLAJI STREET, BUNDELAJI-4	
 Shaikh & Associates 207 & 208, 4th Floor, Near: Nigadi Market, Green Road, Bundelaji - 400 007. TEL: 361 03 99.	
PLANS	SCALE
152	1:100
DESIGNER	DATE
1:100	20/08/2019
APPROVED	VER. 0.14



SECTION A-A

APPROVED BY: [Signature]
 DATE: 08/10/2011
 PROJECT: [Project Name]
 SHEET: [Sheet Number]

PROFORMA - B	
CONTENT OF SHEETS	
SECTION	
STAMP OF DATE OF RECEIPT OF PLAN	
STAMP OF DATE OF APPROVAL OF PLAN	
OWNERS NAME & SIGNATURE	
DESCRIPTION OF PROPOSAL:	
<small>PROPOSED REDEVELOPMENT OF PROPERTY BEARING C.T. OF 1000 SQUARE METERS TO BE USED AS RESIDENTIAL BUILDING AT 101-102, BANAJI STREET, BOMBAY-400001</small>	
Shahk & Associates <small>101, A, P. M. Road, Bandra, Mumbai - 400050 Phone: 2222 2222 Fax: 2222 2222 Email: shahk@shahk.com</small>	

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

**Office of the Dy. Chief Fire Officer (R-I), Byculla – Regional Command Centre,
 Byculla Fire Station, Bapurao Jagtap Marg, Byculla (West), Mumbai-400008.
 Telephone No. – 022-23076111/2/3, 022-23001393/4/5 & Fax No. 24153027.**

SUB: Fire Safety Compliance of the stipulated Fire Protection & Fire Fighting Safety requirements for the Part Occupation of High-rise Residential and portion of Commercial building i.e. Sale Building & Rehab Building and to use & occupy part portion the said buildings on property bearing C.S. No.- 1/207, 207 & 208 of Tardeo Division, Ward No. D-402,46 & 4039 (D-Ward) situated at 122-138 Shuklaji Street, Mumbai – 400008.

REF: i) Online proposal No.-**EB/5814/D/A-CFO/1/New**

M/S. SHAIKH & ASSOCIATES (LICENSED SURVEYOUR)

In this case, please refer to the N.O.C. stipulating Fire Protection & Fire Fighting requirements issued by this department vide No.- FB/HR/City/128, dated 20/04/2011 for the proposed construction of High-rise Residential cum Commercial building having two level basements beyond building line (which is common for rehab & sale wing) + ground + 1st to 6th parking floors + 7th podium floor + 8th to 50th upper residential floors with total height of 187.80 mtrs. from general ground level up to terrace level.

Further, please refer to the N.O.C. stipulating Fire protection & Firefighting requirements issued by this department vide no. FB/HR/City/610 dated 04/05/2013 for the proposed construction of High-rise Residential cum Commercial building with sale and rehab wing the two-level basements is common for both the wings. The Sale building having two level basements (common for Sale & Rehab building) + ground floor + mezzanine floor + 1st to 4th podium floor, thereafter the building is divided into two wings i.e., Wing 'A' & 'B', both wings are having 5th to 16th + part 17th upper residential floors with total height of 58.15 mtrs. from general ground level up to terrace level. The Rehab building comprising of two wings i.e., Wing 'C' & 'D' having two level basements (common for Sale & Rehab building) Wing 'C' comprise of ground floor + 1st to 12th upper residential floors with total height of 38.00 mtrs. from general ground level up to terrace level & Wing 'D' comprise of ground floor + 1st to 8th (part) upper commercial floors with total height of 30.90 mtrs. from general ground level up to terrace level

Further, please refer to the N.O.C. stipulating Fire protection & Firefighting requirements issued by this department vide online no. EB/5814/D/A/CFO/1/Amend dated 09/02/2021 for the proposed construction of High-rise Residential & Commercial building comprising of two building i.e., Sale Building & Rehab Building, Sale Building i.e., Wing A building comprising of two wings i.e. Wing-A1 & Wing-A2 having 02 level basements (-8.30 mtrs.) common for Rehab & Sale building + ground & 1st floor for commercial + 2nd to 5th podium parking floors + 6th to 22nd upper residential floors with total height of 69.95 mtrs. from general ground level up to terrace level. Rehab building comprising of Wing B & Wing C. High rise Residential Wing-B is having 02 level basements (-8.30 mtrs.) common

for Rehab & Sale building + part stilt & part ground floor 1st to 13th upper residential floors with total height of 40.90 mtrs. from general ground level up to terrace level and High-rise Commercial Wing C building having 02 level basements (-8.30 mtrs.) common for Rehab & Sale building + part stilt & part ground floor 1st to 9th upper commercial floors with total height of 38.30 mtrs. from general ground level up to terrace level

Now, licensed surveyor vide his uploaded letter has informed about the completion of civil construction work of the said High-rise Residential & Commercial building i.e., Sale & Rehab building, Sale building i.e., **Wing A** comprising of wings, Wing A-1 & Wing A-2 having ground floor for 03 nos. of N.R. & 08 nos. of lower N.R. and 1st floor for 08 nos. of Upper level N.R., Rehab building comprising of two wings i.e. Wing B & Wing C, **Wing B** having part stilt & part ground + 1st to 13th upper residential floors with total height of 40.90 mtrs. from general ground level up to terrace level and **Wing C** having part stilt & part ground + 1st to 8th upper commercial floors with total height of 34.40 mtrs. from general ground level up to terrace level, & requested for compliance of the fire safety requirements stipulated vide above referred N.O.C.s issued by this department for part occupation certificate for the firefighting installation point of view.

On receipt of letter from the licensed surveyor, Senior Officer of this department visited & inspected the site on 17/8/2021 to verify & to ensure the compliance of stipulated Fire Protection & Fire-fighting requirements by this department vide above referred N.O.C.'s. During the inspection at the site, it was observed that party has complied with installation of the Fire-fighting System such as Wet-riser cum Down-comer System, Automatic Sprinkler system, Fire pump, Jockey pump, Sprinkler pump, Jockey pump to the Sprinkler, Manual Call Points of the Fire Alarm System, Smoke Detection system, P.A. System etc. All these Fire-fighting System installations were tested & all the Fire-fighting System installations were found in good working condition at the time of inspection. Portable Fire Extinguishers were found installed at the conspicuous place & same were found in good working condition at the time of inspection. (Photos& videos of the provided fire-fighting & protection system is uploaded herewith).

The party has been provided underground water tank and Overhead water tank as per the requirement letter of CFO's department. However, License Surveyor is requested to verify the capacity of water storage tanks. Electrical duct found sealed at each floor level and alternate source of electric supply was provided from separate electrical substation.

In this case License Surveyor has uploaded letter about full C.C for the construction of building for entire work of Rehab wings B & C & for Wing A-1 & A-2 up to 1st parking floor as per approved plan as per Letter No- EB/5814/D/A, Dated 22/10/20214 & further extended up to 12th floor level of wing A-1 & A-2 ,Dated 11.5.2021

The Party has also uploaded following Documents: -

- 1) **FORM-A** Certificate of Licensed Agency i.e., M/s – Shrihari Electric Corporation. (**Lic. No.**-MFS-LA/2020/RF-359 & MFS-LA/2020/RD-320) for installation, commissioning& maintaining of the said new fixed fire-fighting system installations and further to keep in good functioning condition.

- 2) The party has also uploaded **Structural Stability Certificate** from Mr. S.H. Jain of M/s – Struct Bombay Consultants., Structural Engineer (Lic. No. STR/J/21) dated 01/01/21.
- 3) The Party has also uploaded **FORM A Certificate for F.R.D.s** installed/provided in the building from M/s – Newera Industries (Lic No.- MFS-LA/RP-03) dated 20/03/21.
- 4) The party has uploaded **Lift Test certificate** from Lift Inspector PWD about working condition of passenger & fire lifts
- 5) The party has uploaded **electrical test certificate** from M/S V.M. Electrical Contractor (Lic. No. 23201) dated 13/08/21 & also provided alternate electric supply from separate substation of BEST & uploaded letter about fire Meter no-T190733 for Wing A & T200012 for Wing B & C from BEST.
- 6) Checklist of licensed surveyor Mr. Shaikh of Shaikh & Associates and Checklist of Government approved Licensing Agencies M/s – Shrihari Electric Corporation
- 7) The Architect has also submitted fresh gross built-up area certificate wherein there is no change in gross built-up area dated 17/06/2021.
- 8) Undertaking for providing & maintaining all the fire-safety active measures in good working condition from the Govt. approved Licensed agency & maintaining all fire safety passive measures such as, escape routes, etc. as per the norms, all the time in future & completing all the works pending if any as per the approval, before actual occupation of the said building.
As per above referred N.O.C.s party has provided under ground water storage tank, overhead water storage tank. **In the said building Refuge area is provided on 8th floor of Wing B & Wing C.**

In view of above this Fire Safety Compliance of the stipulated Fire Protection & Fire Fighting Safety requirements is issued **for the part Occupation of High-rise Residential & Commercial building i.e. Wing A comprising of two wings i.e. Wing A-1 having ground floor for 03 nos. of N.R. & Wing A-2 having 08 nos. of lower N.R. and 1st floor for 08 nos. of Upper level N.R. only & Rehab building comprising of two wings i.e. full occupation for Wing B having part stilt & part ground + 1st to 13th upper residential floors and Wing C having part stilt & part ground + 1st to 8th upper commercial floors (excluding 9th floor) from fire & life safety point of view.**

However, it will be the responsibility of Occupier/Owner/ Society of the building to maintain all Fixed Fire Fighting system installation as stipulated in N.O.C.s Fire Protection & Fire-fighting requirements by this department.

The concerned party has paid scrutiny fees as mentioned below:

Sr. No.	Type of Proposal	Total Gross built up area in sq. mtrs.	Scrutiny fee paid	Receipt No./ SAP Doc. No.	Date
1	Proposal	32699.00	5,15,000/-	<u>1673293</u> 1000612839	08.06.2010
			50,000/-	<u>1676434</u> 1000622313	22.06.2010

2	Amendment	32699.90	2,52,500/-	<u>1774292</u> 1001380350	13.03.2013
3	Amendment	37178.00	137600/-	<u>0008787/88/89</u> 100942760	02.12.2020
			2.00/-	<u>Online Receipt No.</u> CHE/CFO/46867/20	09.12.2020
4	Fire service fee	37178.00	557670/-	<u>Online Receipt No-</u> CHE/CFO/61104/21	18.8.2021

License Surveyor has uploaded Area Certificate mentioning Gross built-up area as 6681.53 Sq. Mtrs., as there is no change in gross built up area certified by the License Surveyor, no additional scrutiny fee is levied.

License Surveyor is requested to verify civil work & all other requirements pertaining to Civil engineering side including open spaces, common corridor, doors, staircases, height, refuge area, floor occupancy of the building, structural stability, width of the abutting road/access road, any additions/alterations other than approved plans, etc., as well as gross built up area & all other requirements stipulated vide this department's N.O.C's, and if found any contradiction, the said approval granted for Fire Safety Compliance Letter shall be referred back to this department for offering fresh remarks from Fire Safety point of view.

This is letter in respect of Fire Safety Compliance of the stipulated Fire Protection & Fire Fighting requirement is issued from Fixed Fire Fighting System Installation point of view in respect to online application received from Architect, without prejudice to legal matters pending in court of law, if any.

It will be the responsibility of owner/occupier to observe the Compliance of Fire-fighting System & maintaining of the same in good working condition from the very next day of the inspection. If any item or requirement is missing thereafter, this department or inspecting officer will not be responsible for the same. The party shall give annual maintenance contract for fire-fighting system & equipment to the Govt. approved Licensed Agency & submit the test/maintenance certificate in 'Form-B' every six months (i.e., in January & July), as per The Maharashtra Fire Prevention & Life Safety Measures Act-2006.

It is further to state that before commencement of any Trade activity in the building under section 394/390 of M.M.C. Act in the commercial users, necessary permissions/Licenses shall be obtained from concerned competent Municipal Authority.

Note:-

- a. This letter of Fire Safety Compliance is issued only from Fire-Protection & Fire-Fighting requirements point of view on behalf of the online application from Licensed surveyor without prejudice to legal matters pending in court of law, if any. Any matter pertaining to authenticity or legality of the structure &/or addition/alterations in the structure shall be cleared by concerned Owner/Occupier/ Developer/ Licensed surveyor, etc.
- b. No any addition/alteration other than approved plans shall be done in the flats/building without the previous consent of all the concerned/occupier as per the provision of Section 7 of MOFA & without permission of competent

Municipal Authority. It is Licensed surveyor / Developers' responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction/ addition/alterations in the building or part thereof.

- c. As per section 3 of Maharashtra Fire Prevention and Life Safety Measures Act-2006, it is the liability of Owner/Occupier to provide & maintain the Fire Prevention & Life Safety Measures in good repair and efficient condition at all the time in accordance with the provisions of The Maharashtra Fire Prevention and Life Safety Measures Act or the Rules.
- d. All copies of N.O.C.s & approved plans/papers shall be handed over to Society & it shall be the responsibility of the Developer/ Licensed surveyor.
- e. Necessary NOC for the Electric Substation and Swimming pool shall be obtained from concerned competent authorities of MCGM before BCC.

**Inspected & Report Prepared by
Assistant Divisional Fire Officer**

**Verified & proposed by
Divisional Fire Officer**

**APPROVED BY
CHIEF FIRE OFFICER (I/C.)**



Application for Consent/ Authorisation

Sir,
I/We hereby apply for*

1. Consent to Establish/Operate/Renewal of consent under section 25 and 26 of the Water (Prevention & Control of Pollution) Act, 1974 as amended.
2. Consent to Establish/Operate/Renewal of consent under Section 21 of the Air (Prevention and Control of Pollution) Act, 1981, as amended.
3. Authorization/renewal of authorization under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 in connection with my/our/existing/proposed/altered/ additional manufacturing/processing activity from the premises as per the details given below.

Consent Information

UAN No:
MPCB-CONSENT-0000263544

Application submitted on:
11-10-2025

Industry Information

Consent To:
Renewal (Normal)

IIN No.:

Submit to:
SRO - Mumbai I

Type of institution:
Other Planning Authority

Industry Type:
O21 Building and construction
project more than 20,000 sq. m
built up area

Category:
Red

Scale:
L.S.I

Revised Industry Categorization as per CPCB Guidelines 2025

New Industry Type:

Sector:

New Category:

T.C

10.1 BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.)10.1 BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area

Location of industry/activity/etc:

Name of Local Body:

Local Body

MCGM

EC Reqd.

EC Obtained

Yes

EC Obtained

EC Ref. No.

Date of issue of EC

Parivesh Proposal Number

MoEFCC/SEIAA File Number

SIA/MH/NCP/58079/2020

Sep 22, 2021

SIA/MH/NCP/58079/2020

SIA/MH/NCP/58079/2020

Whether construction-buildup area is more than 20,000 sq.mtr.(Existing Expansion Unit)

Yes

General Information

1. Name, designation, office address with Telephone/Fax numbers, e-mail of the Applicant Occupier/Industry/Institution / Local Body.

Name
Mr. Tabrez Shaikh

Designation
Director

Area
Agripada

Telephone
9892078622

Email
md@rubberwala.com

Address

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai - 400 011

Taluka
Mumbai

District
Mumbai city

Fax

Pan Number
ARXPS3783J

2. (a) Name and location of the industrial unit/premises for which the application is made (Give revenue Survey Number/Plot number name of Taluka and District, also telephone and fax number)

Industry name

M/S. HILTON INFRASTRUCTURE ,CTS NO.207 ,1/207,& 208 , Tardeo Division, Wardd No. D, 4042 - 46, & 4039 (D WARD) Situated at 122-138, Shuklaji Street -Mumbai -400 008

Location of Unit

Tardeo

Taluka
Mumbai

Survey number/Plot Number

Wardd No. D, 4042 - 46, & 4039 (D WARD) Situated at 122-138

District

Mumbai city

(b) Details of the planning permission obtained from the local body/Town and Country Planning authority/Metropolitan Development authority/ designated Authority.

Planning permission

MCGM

Planning Authority

MHADA

Name of the local body under whose jurisdiction the unit is located and Name of the licence issuing authority

MCGM

Sanction plan/ Approved layout Plan/Commencement Certificate

MHADA

3. Gross capital investment of the unit without depreciation till the date of application (Cost of building, land, plant and machinery). (To be supported by an affidavit/undertaking on Rs.20/- stamp paper, annual report or certificate from a Chartered Accountant for proposed unit(s), give estimated figure)

Gross capital (in Lakh)	* Verified	* Terms	* Consent Fee
21262.00	Undertaking	1	425240.00

4. If the site is located near sea-shore/river bank/other water bodies/Highway, Indicate the crow fly distance and the name of the water body, if any.

Distance From	Distance(Km)	* Name
Creek/Sea	0.00	--NA--

4b. Enter Latitude and Longitude details of site

Latitude	Longitude
00	00

5. Does the location satisfy the Requirements Under relevant Central/State Govt. Notification such as Coastal Regulation Zone. Notification on Ecologically Fragile Area, Industrial Location policy, etc. If so, give details.

Location	Approved Industry Area	Sensitive Area	If Yes, Name Of Area	Industry Location with Reference to CRZ
NA	No	No	NA	

6.

(a) Total plot area (in square meter)

4245.86

(b) Built up area and (in square meter)35975.72 Applied for C2E as per EC
43225.41 (Part C2O taken 7249.69)**(c) Area available for the use of treated sewage/ trade effluent for gardening/irrigation. (in square meter)**

391.72

7. Month and year of commissioning of the Unit.

2021-12-27

8.

(a) Do you have a residential colony Within the premises in respect of Which the present application is Made ?

No

NA

(b) If yes, please state population staying**Number of person staying**

0

Water consumption

0

Sewage generation

0

Whether is STP provided?

No

Number of person staying**Water consumption**

9. List of products and by-products Manufactured in tonnes/month, Kl/month or numbers/month with their types i.e.Dyes, drugs etc. (Give figures corresponding to maximum installed production capacity)

Products Name and Quantity

Product Name	UOM	Product Name	Existing	Consented	Proposed Revision	Total	Remarks
OTHERS	--NA--	NA	0	0	0	0	Applied for C2E Renewal with expansion

Products Name and Quantity

Product Name	UOM	Quantity	Remarks
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Part B : Waste Water aspects

10. Water consumption for different uses (m3/day)

Purpose	Consumption	Effluent Generation	Treatment	Remarks	Disposal	Remarks
Domestic Pourpose	136	123	STP	2 NOS OF STP 50 & 160CMD TOTAL 210 CMD)	Recycle	Applied for C2E Renewal with expansion
Water gets Polluted & Pollutants are Biodegradable	0	0	--NA--	NA	--NA--	NA
Water gets Polluted,Pollutants are not Biodegradable & Toxic	0	0	--NA--	NA	--NA--	NA
Industrial Cooling,spraying in mine pits or boiler feed	0	0	--NA--	NA	--NA--	NA
Others	0					

11. Source of water supply, Name of authority granting permission if applicable and quantity permitted.

Source of water supply	Name of Local Body	Name of authority granting permission	Quantity permitted
Local Body	MCGM	MCGM	136

12. Quantity of waste water (effluent) generated (m³/day)

Domestic	Cooling water blowdown
123	0
DM Plants/Softening	
0	

13. Water budget calculations accounting for difference between water consumption and effluent generated.

2 NOS OF STP 50 AND 160CMD
TOTAL 210 CMD)

14. Present treatment of sewage/canteen effluent (Give sizes/capacities of treatment units).

Capacity of STP (m³/day)

210

Treatment unit	Size (mxm)	Retention time (hr)
MBBR	180	7

15. Present treatment of trade effluent (Give sizes/capacities of treatment units) (A schematic diagram of the treatment scheme with inlet/outlet characteristics of each unit operation/process is to be provided. Include details of residue Management system (ETP sludges)

Capacity of ETP (m³/day)

0

Treatment unit	Size (mxm)	Retention time (hr)
0	0	0

16. Capacity of treated effluent sump, Guard Pond if any.

Capacity of treated effluent sump (m³) NA

Effluent sump/Guard pond details No NA

If yes, state at which stage-Whether before, intermittently or after treatment. No NA

17. Mode of disposal of treated effluent With respective quantity, m³/day

(vii) Quantity of treated effluent reused/ recycled, m³/day Provide a location map of disposal arrangement indicating the outler(s) for sampling. Treated effluent reused / recycled (m³/day)	60	Mode of disposal types	Recycle
Mode of disposal types other (if any)			

18. (a) Quality of untreated/treated effluents (Specify pH and concentration of SS, BOD,COD and specific pollutants relevant to the industry. TDS to be reported for disposal on land or into stream/river.

Untreated Effluent

pH	5.5 - 9.0
SS (mg/l)	400
BOD (mg/l)	350
COD (mg/l)	600
TDS (mg/l)	NA

Specific pollutant if any	Name	Value
1	NA	NA

Treated Effluent

pH	8.0-8.5
SS (mg/l)	50
BOD (mg/l)	10
COD (mg/l)	50
TDS (mg/l)	NA

Specific pollutant if any	Name	Value
1	NA	NA

(b) Enclose a copy of the latest report of analysis from the laboratory approved by State Board/ Committee/Central Board/Central Government in the Ministry of Environment expected characteristics of the untreated/treated effluent

NA

19. Fuel consumption

Fuel Type	UOM	Fuel Consumption TPD/LKD
Diesel	Ltr/Hr	229
Sulphur content	Quantity	Other (specify)
1.0	1	NA

20. (a) Details of stack (process & fuel stacks: D. G.)

(a) Stack number(s)	(b) Stack attached to	(d) Fuel Type
S1- 320 KVA	DG SET	DIESEL/HSD
(e) Fuel quantity (Kg/hr.)	(g) Shape (round/rectangular)	(h) Height, m (above ground level)
81	ROUND	APPROPRIATE
(i) Diameter/Size, in meters		
200MM		
(m) Control equipment preceding the stack	(n) Nature of pollutants likely to present in stack gases such as Cl₂, Nox, Sox TPM etc.	(o) Emissions control system provided
ACOUSTIC	TPM SOX	NA

(a) Stack number(s)	(b) Stack attached to	(d) Fuel Type
S2, 750 KVA	DG SET	DIESEL/HSD
(e) Fuel quantity (Kg/hr.)	(g) Shape (round/rectangular)	(h) Height, m (above ground level)
148	ROUND	APPROPRIATE
(i) Diameter/Size, in meters		

(m) Control equipment preceding the stack**(n) Nature of pollutants likely to present in stack gases such as Cl₂, Nox, Sox TPM etc.****(o) Emissions control system provided**

ACOUSTIC

TPM SOX

NA

21. Do you have adequate facility for collection of samples of emissions in the form of port holes, platform, ladder/etc. As per Central Board Publication "Emission regulations Part-III" (December, 1985)

Port hole No **Details** NA

Platform No **Details** NA

Ladder No **Details** NA

Part - D: Hazardous Waste aspect

22. Information about Hazardous Waste Management as defined in Hazardous Waste (Management & Handling) Rules, 1989 as amended in Jan.,2000. Type/Category of Waste as per

Waste (Annually) Schedule I

Cat No	Type	Qty	UOM
5.1	5.1 Used or spent oil	100	Ltr/A
Max	Method of collection	Method of reception	Method of storage
	MANUAL	SAPERATELY STORED	IN DRUM
Method of transport	Method of treatment	Method of disposal	
BY VEHICLE	REPROCESSOR	REPROCESSOR	

23.

Copy of format of manifest/record Keeping practiced by the applicant.

NA

24.

Details of self-monitoring (source and environment system)

NA

36.

Copy of actual user Registration/certificate obtained from State Pollution Control Board/Ministry of Environment & Forests, Government of India, for use of hazardous waste.

37.

Present treatment of hazardous waste, if any (give type and capacity of treatment units)

38. Quantity of hazardous waste disposal

(i) Within factory

(ii) Outside the factory (specify location and enclose copies of agreement.)

(iii) Through sale (enclosed documentary proof and copies of agreement.)

(iv) Outside state/Union Territory, if yes particulars of (1 & 3) above.

(v) Other (Specify)

Part - E: Additional information

25.

a. Do you have any proposals to upgrade the present system for treatment and disposal of effluent/emissions and/or hazardous waste.

NA

b. If yes, give the details with time- schedule for the implementation and approximate expenditure to be incurred on it.

NA

26.

Capital and recurring (O & M) expenditure on various aspect of environment protection such as effluent, emission, hazardous waste, solid waste, tree- plantation, monitoring, data acquisition etc. (give figures separately for items implemented/to be implemented).

CI ON ENVIRONMENTAL FACILITY RS 153.00 LAKS AND OPERATIONL COST RS 37.00 LAKS PER ANNUM.

27.

To which of the pollution control equipment, separate meters for recording consumption of electric energy are installed ?

NA

28.

Which of the pollution control items are connected to D.G. Set (captive power source) to ensure their running in the event of normal power failure

NA

29. Nature, quantity and method of disposal of non- hazardous solid waste generated separately from the process of manufacture and waste treatment. (Give details of area/capacity available in applicant's land)

Type	Quantity	UOM	Treatment	Disposal	Other Details
DRY WASTE	298	Kg/Day	SEGREGATION	SALE /MCGM	NA
WET WASTE	199	Kg/Day	OWC	MANURE	NA
STP SLUDGE	12	Kg/Day	FILTER PRESS	MANURE	NA

30. Hazardous Chemicals - Give details of Chemicals and quantities handled and Stored.

(i) Is the unit a Major Accident Hazard unit as per Mfg.Storage Import Hazardous Chemicals Rules ?

NA

(ii) Is the unit an isolated storage as defined under the MSIHC Rules ?

NA

(iii) Indicate status of compliance of Rules 5,7,10,11,12,13 and 18 of the MSIHC Rules.

NA

(iv) Has approval of site been obtained from the concerned authority?

NA

(v) Has the unit prepared an off-site Emergency Plan? Is it updated ?

NA

(vi) Has information on imports of Chemicals been provided to the concerned authority?

NA

(vii) Does the unit possess a policy under the PLI Act?

NA

31. Brief details of tree plantation/green belt development within applicant's premises (in hecters)

Open Space Availability

391.72 Square meter

Plantation Done On

0 Square meter(0.0 %)

Number of Trees Planted

0

32.

Information of schemes for waste Minimization, resource recovery and recycling - implemented and to be implemented, separately.

NA

34.

I/We further declare that the information furnished above is correct to the best of my/our knowledge.

35.

I/We hereby submit that in case of any change from what is stated in this application in respect of raw materials, products, process of manufacture and treatment and/or disposal of effluent, emission, hazardous wastes etc. In quality and quantity; a fresh application for Consent/Authorization shall be made and until the grant of fresh Consent/Authorization no change shall be made.

36.

I/We undertake to furnish any other information within one month of its being called by the Board

Yours faithfully

Signature : NA

Name : Mr.Tabrez Shaih

Designation : Director

Additional Information

Air Pollution

Sr No.	Air Pollution Source	Pollutants	APCS Provided	Remark
1	NA	NA	NA	NA

Separate EM Provided No **Other Emission Sources** NA

Measures Proposed NA **Foul Smell Coming Out** No

Air Sampling Facility Details NA

D.G. Set Details

Description	Capacity(KVA)	Remarks
DG SET 1 NO.	320	DG SET SHALL BE OPERATED IN CASE OF POWER FAILURE ONLY.
DG SET 1 NO	750	DG SET SHALL BE OPERATED IN CASE OF POWER FAILURE ONLY.

Hazardous Waste Generation

Hazardous Waste	Quantity	UOM	Treatment	Disposal	Other Details
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CHWTSDF Details

<i>Member of CHWTSDF</i>	<i>CHWTSDF Name</i>	<i>Remarks</i>

Cess Details

<i>Cess Applicable</i>	<i>Cess Paid</i>	<i>If Yes, UpTo</i>
No	No	Jan 1 1900 12:00:00:000AM

Legal Actions

<i>Legal Action Taken</i>	<i>Legal Record Of Company</i>	<i>Legal Action Details</i>	<i>Remarks</i>
No			

Bank Guarantee Applicable:	No
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712

Maharashtra Pollution Control Board

महाराष्ट्र प्रदूषण नियंत्रण मंडळ

Application for Consent/ Authorisation

Sir,
I/We hereby apply for*

1. Consent to Establish/Operate/Renewal of consent under section 25 and 26 of the Water (Prevention & Control of Pollution) Act, 1974 as amended.
2. Consent to Establish/Operate/Renewal of consent under Section 21 of the Air (Prevention and Control of Pollution) Act, 1981, as amended.
3. Authorization/renewal of authorization under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 in connection with my/our/existing/proposed/altered/ additional manufacturing/processing activity from the premises as per the details given below.

Consent Information

UAN No:
MPCB-CONSENT-0000263623

Application submitted on:
13-10-2025

Industry Information

Consent To:
Renewal (Normal)

IIN No.:

Submit to:
SRO - Mumbai I

Type of institution:
Other Planning Authority

Industry Type:
O21 Building and construction
project more than 20,000 sq. m
built up area

Category:
Red

Scale:
M.S.I

Revised Industry Categorization as per CPCB Guidelines 2025

New Industry Type:

Sector:

New Category:

10.1 BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.)10.1 BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area BUILDING CONSTRUCTION PROJECTS (i. During the construction phase, the sector is mainly air polluting. However, in post construction phase it is mainly water polluting due to generation of sewage. Consent to Establish/Operate to be taken as per EC conditions, as applicable. ii. Building construction project $\geq 5,000$ sq.m., but $< 20,000$ sq.m. built-up area (with connectivity to terminal STP) may not require separate classification. iii. For projects < 5000 the wastewater shall be managed according to on-site sanitation methods as mentioned in the Manual on Sewerage and Sewage Treatment System (2013), published by the Central Public Health and Environmental Engineering Organisation (CPHEEO), and as amended from time to time.) - Building construction project $\geq 20,000$ sq. m. built-up area

Location of industry/activity/etc:**Name of Local Body:**

Local Body

MCGM

EC Reqd.**EC Obtained**

Yes

EC Obtained

EC Ref. No.**Date of issue of EC****Parivesh Proposal Number****MoEFCC/SEIAA File Number**

SIA/MH/NCP/58079/2020

Sep 22, 2021

SIA/MH/NCP/58079/2020

SIA/MH/NCP/58079/2020

Whether construction-buildup area is more than 20,000 sq.mtr.(Existing Expansion Unit)

Yes

General Information

1. Name, designation, office address with Telephone/Fax numbers, e-mail of the Applicant Occupier/Industry/Institution / Local Body.

Name
Mr. Tabrez Shaikh

Designation
Director

Area
Agripada

Telephone
9892078622

Email
md@rubberwala.com

714
Address

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai - 400 011

Taluka
Mumbai

District
Mumbai city

Fax

Pan Number
ARXPS3783J

2. (a) Name and location of the industrial unit/premises for which the application is made (Give revenue Survey Number/Plot number name of Taluka and District, also telephone and fax number)

Industry name

M/S. HILTON INFRASTRUCTURE ,CTS NO.207 ,1/207,& 208 , Tardeo Division, Wardd No. D, 4042 - 46, & 4039 (D WARD) Situated at 122-138, Shuklaji Street -Mumbai -400 008

Location of Unit

Tardeo

Taluka
Mumbai

Survey number/Plot Number

D, 4042 - 46, & 4039 (D WARD) Situated at 122-138

District

Mumbai city

(b) Details of the planning permission obtained from the local body/Town and Country Planning authority/Metropolitan Development authority/ designated Authority.

Planning permission

MCGM

Planning Authority

MHADA

Name of the local body under whose jurisdiction the unit is located and Name of the licence issuing authority

MCGM

Sanction plan/ Approved layout Plan/Commencement Certificate

MHADA

3. Gross capital investment of the unit without depreciation till the date of application (Cost of building, land, plant and machinery). (To be supported by an affidavit/undertaking on Rs.20/- stamp paper, annual report or certificate from a Chartered Accountant for proposed unit(s), give estimated figure)

Gross capital (in Lakh)	* Verified	* Terms	* Consent Fee
5957.00	Undertaking	5	500000.00

4. If the site is located near sea-shore/river bank/other water bodies/Highway, Indicate the crow fly distance and the name of the water body, if any.

Distance From	Distance(Km)	* Name
Creek/Sea	0.00	--NA--

4b. Enter Latitude and Longitude details of site

Latitude	Longitude
00	00

5. Does the location satisfy the Requirements Under relevant Central/State Govt. Notification such as Coastal Regulation Zone. Notification on Ecologically Fragile Area, Industrial Location policy, etc. If so, give details.

Location	Approved Industry Area	Sensitive Area	If Yes, Name Of Area	Industry Location with Reference to CRZ
NA	No	No	NA	

6.

(a) Total plot area (in sqaear meter)	(b) Built up area and (in sqaear meter)	(c) Area available for the use of treated sewage/ trade effluent for gardening/irrigation. (in sqaear meter)
4245.86	7249.69 Applied for C2O Renewal (as per EC 43225.41)	391.72

7. Month and year of commissioning of the Unit.

2021-12-27

8.

(a) Do you have a residential colony Within the premises in respect of Which the present application is Made ? No NA

(b) If yes, please state population staying

Number of person staying	Water consumption	Sewage generation	Whether is STP provided?
0	0	0	No
Number of person staying	Water consumption		

9. List of products and by-products Manufactured in tonnes/month, Kl/month or numbers/month with their types i.e.Dyes, drugs etc. (Give figures corresponding to maximum installed production capacity)

Products Name and Quantity

Product Name	UOM	Product Name	Existing	Consented	Proposed Revision	Total	Remarks
OTHERS	--NA--	NA	0	0	0	0	Applied for C2O Renewal

Products Name and Quantity

Product Name	UOM	Quantity	Remarks
--------------	-----	----------	---------

Part B : Waste Water aspects

10. Water consumption for different uses (m3/day)

Purpose	Consumption	Effluent Generation	Treatment	Remarks	Disposal	Remarks
Domestic Pourpose	70	55	STP	2 NOS OF STP 50 & 160CMD TOTAL 210 CMD)	Recycle	Applied for C2E Renewal with expansion
Water gets Polluted & Pollutants are Biodegradable	0	0	--NA--	NA	--NA--	NA
Water gets Polluted,Pollutants are not Biodegradable & Toxic	0	0	--NA--	NA	--NA--	NA
Industrial Cooling,spraying in mine pits or boiler feed	0	0	--NA--	NA	--NA--	NA
Others	0					

11. Source of water supply, Name of authority granting permission if applicable and quantity permitted.

Source of water supply	Name of Local Body	Name of authority granting permission	Quantity permitted
Local Body	MCGM	MCGM	70

12. Quantity of waste water (effluent) generated (m3/day)

Domestic	Cooling water blowdown
55	0
DM Plants/Softening	
0	

13. Water budget calculations accounting for difference between water consumption and effluent generated.

2 NOS OF STP 50 AND 160CMD
TOTAL 210 CMD)

14. Present treatment of sewage/canteen effluent (Give sizes/capacities of treatment units).

Capacity of STP (m3/day)

210

Treatment unit	Size (mxm)	Retention time (hr)
MBBR	180	7

15. Present treatment of trade effluent (Give sizes/capacities of treatment units) (A schematic diagram of the treatment scheme with inlet/outlet characteristics of each unit operation/process is to be provided. Include details of residue Management system (ETP sludges)

Capacity of ETP (m3/day)

0

Treatment unit	Size (mxm)	Retention time (hr)
0	0	0

16. Capacity of treated effluent sump, Guard Pond if any.

Capacity of treated effluent sump (m3) NA

Effluent sump/Guard pond details No NA

If yes, state at which stage-Whether before, intermittently or after treatment. No NA

17. Mode of disposal of treated effluent With respective quantity, m3/day

(vii) Quantity of treated effluent reused/ recycled, m3/day Provide a location map of disposal arrangement indicating the outler(s) for sampling. Treated effluent reused / recycled (m3/day) Mode of disposal types other (if any)	Mode of disposal types	Others
35		

18. (a) Quality of untreated/treated effluents (Specify pH and concentration of SS, BOD,COD and specific pollutants relevant to the industry. TDS to be reported for disposal on land or into stream/river.

Untreated Effluent

pH	5.5 - 9.0
SS (mg/l)	400
BOD (mg/l)	350
COD (mg/l)	600
TDS (mg/l)	NA

Specific pollutant if any	Name	Value
1	NA	NA

Treated Effluent

pH	8.0-8.5
SS (mg/l)	50
BOD (mg/l)	10
COD (mg/l)	50
TDS (mg/l)	NA

Specific pollutant if any	Name	Value
1	NA	NA

(b) Enclose a copy of the latest report of analysis from the laboratory approved by State Board/ Committee/Central Board/Central Government in the Ministry of Environment expected characteristics of the untreated/treated effluent

NA

19. Fuel consumption

Fuel Type	UOM	Fuel Consumption TPD/LKD
--NA--	--NA--	0
Sulphur content	Quantity	Other (specify)
0	1	NA

20. (a) Details of stack (process & fuel stacks: D. G.)

(a) Stack number(s)	(b) Stack attached to	(d) Fuel Type
0	NA	NA
(e) Fuel quantity (Kg/hr.)	(g) Shape (round/rectangular)	(h) Height, m (above ground level)
0	NA	NA
(i) Diameter/Size, in meters	NA	
(m) Control equipment preceding the stack	(n) Nature of pollutants likely to present in stack gases such as Cl₂, Nox, Sox TPM etc.	(o) Emissions control system provided
NA	A	NA

21. Do you have adequate facility for collection of samples of emissions in the form of port holes, platform, ladder etc. As per Central Board Publication "Emission regulations Part-III" (December, 1985)

Port hole	No	Details	NA
Platform	No	Details	NA
Ladder	No	Details	NA

Part - D: Hazardous Waste aspect

22. Information about Hazardous Waste Management as defined in Hazardous Waste (Management & Handling) Rules, 1989 as amended in Jan.,2000. Type/Category of Waste as per

Waste (Annually) Schedule I

Cat No	Type	Qty	UOM
NA		0	--NA--
Max	Method of collection	Method of reception	Method of storage
	NA	NA	NA
Method of transport	Method of treatment	Method of disposal	
NA	NA	NA	

23.

Copy of format of manifest/record Keeping practiced by the applicant.

NA

24.

Details of self-monitoring (source and environment system)

NA

36.

Copy of actual user Registration/certificate obtained from State Pollution Control Board/Ministry of Environment & Forests, Government of India, for use of hazardous waste.

37.

Present treatment of hazardous waste, if any (give type and capacity of treatment units)

38. Quantity of hazardous waste disposal

(i) Within factory

(ii) Outside the factory (specify location and enclose copies of agreement.)

(iii) Through sale (enclosed documentary proof and copies of agreement.)

(iv) Outside state/Union Territory, if yes particulars of (1 & 3) above.

(v) Other (Specify)

Part - E: Additional information

25.

a. Do you have any proposals to upgrade the present system for treatment and disposal of effluent/emissions and/or hazardous waste.

NA

b. If yes, give the details with time- schedule for the implementation and approximate expenditure to be incurred on it.

NA

26.

719

Capital and recurring (O & M) expenditure on various aspect of environment protection such as effluent, emission, hazardous waste, solid waste, tree- plantation, monitoring, data acquisition etc. (give figures separately for items implemented/to be implemented).

CI ON ENVIRONMENTAL FACILITY RS 153.00 LAKS AND OPERATIONL COST RS 37.00 LAKS PER ANNUM.

27.

To which of the pollution control equipment, separate meters for recording consumption of electric energy are installed ?

NA

28.

Which of the pollution control items are connected to D.G. Set (captive power source) to ensure their running in the event of normal power failure

NA

29. Nature, quantity and method of disposal of non- hazardous solid waste generated separately from the process of manufacture and waste treatment. (Give details of area/capacity available in applicant's land)

Type	Quantity	UOM	Treatment	Disposal	Other Details
DRY WASTE	99	Kg/Day	SEGREGATION	SALE /MCGM	NA
WET WASTE	66	Kg/Day	OWC	MANURE	NA
STP SLUDGE	6	Kg/Day	FILTER PRESS	MANURE	NA

30. Hazardous Chemicals - Give details of Chemicals and quantities handled and Stored.

(i) Is the unit a Major Accident Hazard unit as per Mfg.Storage Import Hazardous Chemicals Rules ?

NA

(ii) Is the unit an isolated storage as defined under the MSIHC Rules ?

NA

(iii) Indicate status of compliance of Rules 5,7,10,11,12,13 and 18 of the MSIHC Rules.

NA

(iv) Has approval of site been obtained from the concerned authority?

NA

(v) Has the unit prepared an off-site Emergency Plan? Is it updated ?

NA

(vi) Has information on imports of Chemicals been provided to the concerned authority?

NA

(vii) Does the unit possess a policy under the PLI Act?

NA

31. Brief details of tree plantation/green belt development within applicant's premises (in hectares)

Open Space Availability	Plantation Done On	Number of Trees Planted
391.72 Square meter	0 Square meter(0.0 %)	0

32.

Information of schemes for waste Minimization, resource recovery and recycling - implemented and to be implemented, separately.

NA

34.

I/We further declare that the information furnished above is correct to the best of my/our knowledge.

35.

I/We hereby submit that in case of any change from what is stated in this application in respect of raw materials, products, process of manufacture and treatment and/or disposal of effluent, emission, hazardous wastes etc. In quality and quantity; a fresh application for Consent/Authorization shall be made and until the grant of fresh Consent/Authorization no change shall be made.

36.

I/We undertake to furnish any other information within one month of its being called by the Board

Yours faithfully

**Signature : NA
Name : Mr.Tabrez Shaih
Designation : Director**

Additional Information

Air Pollution

Sr No.	Air Pollution Source	Pollutants	APCS Provided	Remark
1	NA	NA	NA	NA

Separate EM Provided	No	Other Emission Sources	NA
Measures Proposed	NA	Foul Smell Coming Out	No
Air Sampling Facility Details	NA		

D.G. Set Details

Description	Capacity(KVA)	Remarks
NA	0	NA
NA	0	NA

Hazardous Waste Generation

Hazardous Waste	Quantity	UOM	Treatment	Disposal	Other Details
-----------------	----------	-----	-----------	----------	---------------

CHWTSDF Details

Member of CHWTSDF	CHWTSDF Name	Remarks
-------------------	--------------	---------

Cess Details

Cess Applicable	Cess Paid	If Yes, UpTo
No	No	Jan 1 1900 12:00:00:000AM

Legal Actions

Legal Action Taken	Legal Record Of Company	Legal Action Details	Remarks
No			

Bank Guarantee Applicable:

No

T.C



HILTON INFRASTRUCTURE

722

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

Ax. F

To,

**Ministry of Environment, Forest & Climate Change
Integrated Regional Office,
Ground Floor, East Wing, New Secretariat Building,
Civil Lines, Nagpur – 440 001, Maharashtra.**

Sub : Submission of six-monthly compliance status report as per terms & conditions Stipulated in Environmentclearance letter for proposed 'Fuego', Redevelopment Project along with sale component at Tardeo division, D ward,Shuklaji street,Mumbai – 400 008. Maharashtra.'

Ref. No. : Environment clearance no.SIA/MH/NCP/58079/2020, dated: 22/09/2021.

Respected Sir,

In reference to the above referred letter of your highly revered office we would like to submit the current Status of our construction work and point-wise compliance status to various stipulations laid down in Environment clearance letter no. **SIA/MH/NCP/58079/2020, dated: 22/09/2021**along with the necessary Annexure.

This compliance report is submitted for the period from **October 2022 to March 2023.**

This is for your kind consideration and records. Kindly acknowledge the same.

Thanking you,

Yours Sincerely,

For, Hilton Infrastructure

TABREZ
SHAFI
AHMED
SHAIKH

Authorized Signatory

**Encl : Part A: Current status of construction work.
Part B: Point-wise compliance status.
Datasheet & Annexures.**

**Copy to Regional Office, MPCB, Sion, Mumbai.
Regional Office, CPCB, Pune
Department of Environment, Mantralaya, Mumbai.**

T.C

HILTON INFRASTRUCTURE

723

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

To,

Regional Office, Maharashtra Pollution Control Board,
Kalpataru Point, 1st floor, Sion Circle,
In front of Cine Planate Theater,
Shiv (East), Mumbai - 400 022. Maharashtra.

Sub : Submission of six-monthly compliance status report as per terms & conditions Stipulated in Environment clearance letter for proposed 'Fuego', Redevelopment Project along with sale component at Tardeo division, D ward, Shuklaji street, Mumbai – 400 008. Maharashtra.'

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Yours Sincerely,

For, **Hilton Infrastructure**

Digitally signed by
TABREZ SHAFI
AHMED SHAIKH
DN: cn=TABREZ SHAFI,
o=HILTON INFRASTRUCTURE,
ou=HILTON INFRASTRUCTURE,
email=tshafi@hiltoninfra.com,
c=IN

Authorized Signatory

Encl : Part A: Current status of construction work.
Part B: Point-wise compliance status.
Datasheet & Annexures.

Copy to Regional Office, MoEF & CC, Nagpur.
Regional Office, CPCB, Pune
Department of Environment, Mantralaya, Mumbai.

HILTON INFRASTRUCTURE

724

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

To,

Member Secretary, State Level Environmental Impact Assessment Authority (SEIAA),
217, Department OF Environment, Government of Maharashtra,
2nd Floor, Annex Building,
Mantralaya, Mumbai – 400 032. Maharashtra.

Sub : Submission of six-monthly compliance status report as per terms & conditions Stipulated in Environment clearance letter for proposed 'Fuego', Redevelopment Project along with sale component at Tardeo division, D ward, Shuklaji street, Mumbai – 400 008. Maharashtra.'

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DN: cn=TABREZ SHAFI AHMED SHAIKH, email=tshafishai@hiltoninfra.com, o=Hilton Infrastructure, ou=Hilton Infrastructure, c=IN

Authorized Signatory

Encl : Part A: Current status of construction work.
Part B: Point-wise compliance status.
Datasheet & Annexures.

Copy to Regional Office, MoEF & CC, Nagpur.
Regional Office, MPCB, Sion, Mumbai.
Regional Office, CPCB, Pune

HILTON INFRASTRUCTURE

725

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

To,

Regional Directorate, Pune, Central Pollution Control Board,
(Ministry of Environment, Forest & Climate Change), Govt. of India,
Survey no. 110, Dhankude Multipurpose Hall,
Baner Road, Baner, Pune – 411 045. Maharashtra.

Sub : Submission of six-monthly compliance status report as per terms & conditions Stipulated in Environment clearance letter for proposed 'Fuego', Redevelopment Project along with sale component at Tardeo division, D ward, Shuklaji street, Mumbai – 400 008. Maharashtra.'

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TABREZ.SHAIFI@hilton
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Authorized Signatory

**Encl : Part A: Current status of construction work.
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Datasheet & Annexures.**

**Copy to Regional Office, MoEF & CC, Nagpur.
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Department of Environment, Mantralaya, Mumbai.**

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Annexure – 03	Water NOC
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Annexure – 05	Drainage NOC
Annexure – 06	Ack for revised drainage NOC
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: PART A:

Current status of work

Status of construction	:	<ul style="list-style-type: none"> ❖ Total constructed area on site as of March 2023 ❖ Rehab Wing B (Completed upto 13th floor) Rehab Wing C (Completed upto 8th floor) Sale Wing A (Completed upto 20th floor)
a. Date of commencement (Actual and/or planned)	:	26/08/2011 (Actual)
b. Date of completion (Actual and/or planned)	:	December 2026 (Planned)

: PART B :

Compliance status of conditions stipulated in Environmental clearance for proposed ‘Redevelopment Project ‘Fuego’, at CTS no. 207, 1/207 & 208 of Tardeo division, Ward no. D-4042-46 & 4039, situated at 122-138, Shuklaji Street, Mumbai. Maharashtra granted by SEIAA, Govt. of Maharashtra vide letter no. SEAC-2014/CR-11/TC-1, dated: 30/03/2015 further amendment in EC vide file no SIA/MH/NCP/58079/2020 dated 22/09/2021 are as follows;

Sl. No.	Stipulated clearance conditions	Compliance status
SPECIFIC CONDITION: -		
PART A: SEAC CONDITION: -		
i.	PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions as per the Circular dated 30.01.2014 issued by the Environment Department, Govt. of Maharashtra.	<ul style="list-style-type: none"> ❖ MCGM issued commencement certificates for the project vide letter no. EB/14/D/A/337/1/Amend, dated: 05/10/2020, 16/10/2020, ❖ Please refer Annexure – 1 for copies of Commencement certificates. ❖ Irani architect issued architect Certificate stating Approved Built-Up area and Commensurate Non FSI ❖ Please refer Annexure – 2 for architect Certificate
ii.	PP to obtain following updated NOCs & remarks as per amended plan: a) Water Supply b) Sewer Connection c) SWD NOC d) CFO NOC.	<ul style="list-style-type: none"> ❖ MCGM has issued water supply NOC dt. 03.06.2014 ❖ Please refer annexure _3 for water NOC ❖ We have also submitted Application for revised water supply of NOC as per Amended plan dt. 12.08.2021. ❖ Please refer annexure _4 Copy of the ack for revised water NOC ❖ MCGM has issued drainage NOC dt. 09.08.2011 ❖ Please refer annexure 5_ for Drainage NOC ❖ We have also submitted Application for revised drainage NOC as per Amended plan dt. 12.08.2021. ❖ Please refer annexure _6 Copy of the ack for revised drainage NOC ❖ MCGM issued NOC for Solid Waste Management dt. 03.08.2011.

		<ul style="list-style-type: none"> ❖ Please refer annexure _7 for SWM NOC ❖ Chief Fire Officer, MCGM issued CFO NOC dt. 09.02.2021 ❖ Please refer annexure -8 for CFO NOC.
iii.	PP to provide air ozonator for STP of sale building to avoid odour residents as STP is proposed on first floor of building. PP to ensure that nitrogen and phosphate parameters of treated waste water from STP are as per NGT norms.	<ul style="list-style-type: none"> ❖ As per suggestion of Hon. SEAC-2 we shall provide Air ozonator for STP of sale building to avoid odour to residents. ❖ PP also ensure and undertake here that Nitrogen and Phosphate parameters of treated waste water from STP shall be achieved as per NGT order. 30.04.2019. ❖ Please refer annexure- 9 for Undertaking Nitrogen and Phosphate parameters of treated waste water from STP shall be achieved as per NGT order
iv.	PP to submit drawing of internal storm water drain and sewer line up to final disposal point along with invert level.	❖ Please refer annexure – 10 for Ground floor plan showing internal storm water drain and sewer line up to final disposal point along with invert level
v.	PP to reduce discharge of excess treated water below 35 %	<ul style="list-style-type: none"> ❖ PP noted that after full occupation of this project the total treated sewage available for reuse will be 160 KLD ❖ Recycling of treated sewage shall be done for gardening (1 KLD) and flushing (72 KLD) within site which will help to reduce the quantity of treated sewage to the tune of 55% (88 KLD). Also excess treated sewage generated from initially occupied building shall be used for the construction activity of remaining portion within site and nearby construction activity thereby shall reduce the discharge of excess treated sewage upto 35 % into external sewer line.
vi.	PP to submit final approval received for concession of RG area from MCGM.	❖ PP have provided 391.72 sq.mt of RG area and same is already approved by Municipal Commissioner, MCGM and accordingly received concession approval on 16.10.2020.
vii.	PP to provide annual maintenance of STP for 10 years or till formation of society whichever is later and same should be included in EMP	<ul style="list-style-type: none"> ❖ Please refer annexure -11 for undertake to maintain STP for 10 years. ❖ Please refer annexure 12 for revised EMP.
viii.	PP to provide minimum 25 % four wheeler and two-wheeler parking should be equipped with electric charging facilities.	❖ As per suggestion of Hon. SEAC-II we have proposed to provide 64 Nos. of electrical Charging facilities (i.e. 25 % of

		<p>captive four-wheeler and two-wheeler Parkings).</p> <p>❖ Please refer annexure 13 for Plan showing electric charging facilities.</p>
--	--	--

PART B : SEIAA CONDITION:-		
i.	PP to keep open space unpaved so as to ensure permeability of water. However, whenever paving is deemed necessary, PP to provide grass pavers of suitable types & strength to increase the water permeable area as well as to allow effective fire tender movement.	❖ Agreed to comply with
ii.	PP to achieve at least 5% of total energy requirement from solar/other renewable sources.	❖ Noted
iii.	PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.	❖ Noted
iv	SEIAA after deliberation decided to grant EC for- FSI- 40,156.08 m2, Non FSI- 39,320.21 m2, Total BUA-79,476.29 m2. (Plan approval No. EB/5420/D/A/337/12/Amend, dated 25.10.2022)	❖ Noted

GENERAL CONDITION:

A	Construction Phase:-	
i.	The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed-off to the approved sites for land filling after recovering recyclable material.	❖ Debris and excavated material has been transported and unloaded at construction of retaining wall in connection with the extension of Harbour lines between Andheri & Goregaon stations on Western Railway, Rest has been partly reused within plot for back filling and plot leveling and partly disposed-off to authorize landfill site with prior approval from Solid waste management department, MCGM vide letter no. 2055, dated: 03/08/2011.
ii.	Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	❖ Debris and excavated material has been transported and unloaded at construction of retaining wall in connection with the extension of Harbour lines between Andheri & Goregaon stations on Western Railway, Rest has been partly reused within plot for back filling and plot leveling and partly disposed-off to authorize landfill site with

		prior approval from Solid waste management department, MCGM vide letter no. 2055, dated: 03/08/2011.
iii.	Any hazardous waste generated during construction phase should be disposed-off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.	❖ No generation of hazardous waste during construction.
iv.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.	<ul style="list-style-type: none"> ❖ All necessary facilities have been provided on site for the construction workers. ❖ 66 nos of hutments provided for 86 nos of residential workers & 24 nos of non-residential, workers working at site. ❖ Site sanitation like safe & adequate Municipal water for drinking and domestic purpose, 6 nos. of toilets, 2 nos. of bathrooms and periodical medical checkup facilities has been provided for the construction workers. ❖ Proper housekeeping & regular pest control have been carried out. ❖ First Aid room and medical facilities provided.
v.	Arrangement shall be made that wastewater and storm water do not get mixed.	<ul style="list-style-type: none"> ❖ The storm water collected through the storm water drains of adequate capacity will be discharged into the external drain. ❖ Executive Engineer, (Storm water drains), Planning Cell, MCGM issued SWD Remarks vide letter dated: 11/08/2011. ❖ Please refer Annexure – 14 for SWD Remark. ❖ STP of capacity 50 CMD for Redevelopment and 160 CMD for Sale will be provided for the treatment of waste water.
vi.	Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.	❖ Pre-mixed concrete, curing agents have been used in building construction.
vii.	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	<ul style="list-style-type: none"> ❖ Groundwater accumulation was monitored in boreholes during and after completion of drilling activities. Level of the groundwater table was observed at 0.5 to 0.75 meters below ground surface in the boreholes. Seasonal and annual fluctuations in ground water levels can be expected to occur. ❖ Withdrawal of Ground water is not planned in the project. Soil quality is being tested.

		❖ Please refer Annexure – 16 for Environmental Monitoring Reports.
viii.	Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project	❖ No extraction of ground water for construction purpose also we are not planning to withdraw ground water for any purpose in future, hence permission from CGWA is not applicable.
ix.	Fixtures for showers, toilet flushing, and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor-based control.	❖ Low flow fixtures have been provided for the showers and toilet flushing at occupied buildings.
x.	The Energy Conservation Building code shall be strictly adhered to.	❖ Noted.
xi.	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.	❖ This is redevelopment project with vertical expansion, hence no generation of topsoil.
xii.	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	❖ Debris and excavated material has been transported and unloaded at construction of retaining wall in connection with the extension of Harbour lines between Andheri & Goregaon stations on Western Railway, Rest has been partly reused within plot for back filling and plot leveling and partly disposed-off to authorize landfill site with prior approval from Solid waste management department, MCGM vide letter no. 2055, dated: 03/08/2011.
xiii.	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	❖ Groundwater accumulation was monitored in boreholes during and after completion of drilling activities. Level of the groundwater table was observed at 4.0 to 4.3 meters below ground surface in the boreholes. Seasonal and annual fluctuations in ground water levels can be expected to occur. ❖ Withdrawal of Ground water is not planned in the project. Soil quality is being tested. ❖ Please refer Annexure – 15 for Environmental Monitoring Reports.
xiv.	PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.	❖ Noted.
xv.	The diesel generator sets to be used during construction phase should be low Sulphur	❖ No use of DG sets during construction.

	diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.	
xvi.	Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.	<ul style="list-style-type: none"> ❖ Vehicles with valid PUC are allowed during construction to enter the site. Vehicles are operated only during non-peak hours. ❖ PUC records will be maintained at security gate.
xvii.	Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, to conform to the stipulated standards by CPCB/MPCB.	<ul style="list-style-type: none"> ❖ Ambient air and Noise level monitoring is being carried out. ❖ Please refer Annexure – 15 for Environmental Monitoring Reports.
xviii.	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low Sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.	<ul style="list-style-type: none"> ❖ CPCB approved 2 DG sets of capacity 320 kVA & 750 kVA each proposed at occupied building and it is being used for emergency backup during power failure only.
xix.	Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by separate environment cell/designed person.	<ul style="list-style-type: none"> ❖ Regular supervision of the above measures is being monitored by Project Manager.
B Operation Phase:		
i.	a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after	<ul style="list-style-type: none"> ❖ Provision of adequate space for solid waste management ❖ Proper segregation on site for biodegradable and non-biodegradable. ❖ OWC capacity of 300 kg/day is already installed on site for treatment of biodegradable waste. ❖ Treated waste (manure) will be used in existing premises for gardening.

	recovering recyclable material.	❖ Dry solid waste will be disposed to authorized recycler.
ii.	E- waste shall be disposed through Authorized vendor as per E-waste (Management & Handling) Rules, 2016	<ul style="list-style-type: none"> ❖ Though the generation of E-waste is from residential building, but it is difficult to quantify E-waste from residential building. ❖ Quantification of E-waste generation is done for commercial portion. E-waste will be stored separately at a common designated location and shall be disposed through authorized recyclers as per E-waste (Management) Rules, 2016 and as amended in 2018. ❖ For residential building it is recommended that E-waste may be stored separately at a common designated location and should be disposed through authorized recyclers as per E-waste (Management) Rules, 2016 and as amended in 2018.
iii.	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/reused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the Odour problem from STP. b) PP to give 100% treatment to sewage /Liquid waste and explore the possibility to recycle at least 50% of water, Local authority should ensure this.	<ul style="list-style-type: none"> ❖ Provision of STP of capacity 50 CMD for Redevelopment and 160 CMD for Sale for the treatment of waste water. ❖ The treated waste water will be reused for flushing and gardening to reduce fresh water demand.
iv.	Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.	<ul style="list-style-type: none"> ❖ Provision of STP of capacity 50 CMD for Redevelopment and 160 CMD for Sale for the treatment of waste water. ❖ The treated waste water will be reused for flushing and gardening to reduce fresh water demand. ❖ OWC of adequate capacity provided for the project to treat biodegradable waste. ❖ The compost will be re-used in garden as manure. <ul style="list-style-type: none"> ❖ Non-biodegradable waste will be sorted into recycled and non-recycled and will

		<p>be handed over to solid waste management facility on daily basis.</p> <ul style="list-style-type: none"> ❖ RG area will be developed over an area of 391.54 Sq. meters with the plantation of 28 nos of trees of different species.
v.	The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.	<ul style="list-style-type: none"> ❖ MPCB granted consent to Operate for the project vide order no. Format 1.0/CC/UAN No. 0000099386/CO2112001538, dated: 27/12/2021.
vi.	Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized, and no public space should be utilized.	<ul style="list-style-type: none"> ❖ Provision has been made for construction vehicles within the site.
vii.	PP to provide adequate electric charging points for electric vehicles (EVs).	<ul style="list-style-type: none"> ❖ We agree to comply.
viii.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	<ul style="list-style-type: none"> ❖ RG area will be developed over an area of 391.54 Sq. meters with the plantation of 28 nos of trees of different species.
ix.	A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	<ul style="list-style-type: none"> ❖ A Separate Environment Management Cell with qualified staff has been appointed for implementation of the stipulated Environmental safeguards. ❖ Environmental quality is being monitored through external MoEF & CC approved laboratory.
x.	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.	<ul style="list-style-type: none"> ❖ Separate funds have been allocated for Implementation of Environmental Protection Measures: During construction phase: ❖ Rs. 35.90 Lakhs have been allocated for the entire construction period. During operation phase: ❖ Capital cost: Rs. 153.25 Lakhs and ❖ O & M cost: Rs. 31.37 Lakhs per Annum.
xi.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of	<ul style="list-style-type: none"> ❖ After getting Environmental clearance from SEIAA, Govt. of Maharashtra vide letter no. SEAC-2014/CR-11/TC-1, dated: 30/03/2015 we published public notice in local newspapers. ❖ Please refer Annexure – 16 for Advertisement copy.

	clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at parivesh.nic.in	
xii.	Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1 st June & 1 st December of each calendar year.	<ul style="list-style-type: none"> ❖ Submitting six monthly compliance reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Pune ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.
xiii.	A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.	❖ Environment clearance copy submitted to MCGM.
xiv.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely, SPM, RSPM. SO ₂ , NO _x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	❖ Noted.
C	General EC Condition:-	
i.	PP has to strictly abide by the conditions stipulated by SEAC& SEIAA.	❖ Noted
ii.	If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.	<ul style="list-style-type: none"> ❖ MPCB granted consent to establish for the project vide order no. Format 1.0/BO/RO-HQ/EIC-Mu-5853-14/CE/CC-7664, dated: 19/08/2014. ❖ Please refer Annexure – 17 for Consent to establish ❖ MPCB granted consent to Operate for the project vide order no. Format 1.0/CC/UAN No. 0000099386/CO2112001538, dated: 27/12/2021.

		❖ Please refer Annexure – 18 for Consent to Operate
iii.	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	❖ Obtained Environment clearance from SEIAA, Govt. of Maharashtra vide letter no. SEAC-2014/CR-11/TC-1, dated: 30/03/2015 ❖ Further expansion in EC vide letter no. SIA/MH/NCP/58079/2020, dated: 22/09/2021 ❖ Please refer Annexure – 19 for Environment Clearance copy.
iv.	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective RO of MoEF, the respective Zonal Office of CPCB and the SPCB.	❖ Submitting six monthly compliance reports to; ❖ RO, MPCB, Sion, Mumbai. ❖ RO, CPCB, Pune. ❖ RO, MoEF & CC, Nagpur. ❖ Environment Department, Mantralaya.
v.	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.	❖ Environmental Statement (Form-V) for the Financial Year 2021-2022 has been submitted on MPCB web portal.
vi.	No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.	❖ Noted.
vii.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the	❖ NOC from Wild Life Board is Not Applicable as per Final Notification reg. ESZ of SGNP published by MoEF & CC u/no. S.O.3645 (E), dated: 05/12/2016 as our project site is not affected by the ESZ belt.

	project which will be considered separately on merit.	
4.	The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him. If any or action initiated under EP Act.	❖ Noted.
5.	This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.	❖ Noted.
6.	In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.	❖ Noted.
7.	Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended from time to time.	❖ Noted.
8	The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981. The Environment (Protection) Act 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.	❖ Noted.
9	Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	❖ Noted.

**Compliance as per
Monitoring the Implementation of Environmental Safeguards**

Ministry of Environment, Forests & Climate Change

Regional Office (WCZ), Nagpur

Monitoring Report

DATA SHEET

1.	Project type: River - valley/ Mining / Industry / Thermal / Nuclear / Other (specify)	:	Construction Project
2.	Name of the project	:	Proposed 'Fuego', Redevelopment project at Shuklaji Street, Mumbai.
3.	Clearance letter (s) / OM No. and Date	:	<ul style="list-style-type: none"> ❖ Obtained Environmental clearance from SEIAA, Govt. of Maharashtra vide letter no. SEAC-2014/CR-11/TC-1, dated: 30/03/2015. ❖ Further amendment and expansion Environmental clearance from SEIAA, Govt. of Maharashtra vide letter no. SIA/MH/NCP/58079/2020, dated: 22/09/2021
4.	Location		
	a. District (S)	:	Mumbai
	b. State (S)	:	Maharashtra.
	c. Latitude/ Longitude	:	Lat : 18°57'46.22 "N Long : 72°49'27.23 "E
5.	Address for correspondence		
	a. Address of Concerned Project Chief Engineer (with pin code & Telephone / telex / fax numbers	:	Mr. Javed Alam Mr. Hilton Infrastructure
	b. Address of Executive Project: Engineer/Manager (with pin code/ Fax numbers)	:	52/53, Harbor Crest Building, Ground floor, Shivdas Chapsi Marg, Mazgaon, Mumbai – 400 010.
6.	Salient features		
	a. of the project	:	Redevelopment Building; 1 Building with 2 wings (wings B & C): <ul style="list-style-type: none"> • Residential (wing B) – 2 Basements + Ground + 13 upper floors. • Shops (wing C) – 2 Basements + Ground + 8 upper floors.

				<p>Sale Building;</p> <ul style="list-style-type: none"> • 1 Building with 2 wings (wings A1 & A2): • 2 Basements + Ground + 1st floor + 2nd to 5th Podium + 6th to 22nd floor.
	b.	of the environmental management plans	:	<p>Separate funds have been allocated for implementation of Environmental protection measures;</p> <p>During construction phase;</p> <ul style="list-style-type: none"> ❖ Rs. 35.90 Lakhs have been allocated for the entire construction period. <p>During operation phase;</p> <ul style="list-style-type: none"> ❖ Capital cost: Rs. 153.25 Lakhs & ❖ O & M cost: Rs. 31.37 Lakhs per Annum.
7.	Breakup of the project area			
	a.	submergence area forest & non-forest	:	❖ Not Applicable
	b.	Others	:	<ul style="list-style-type: none"> ❖ FSI area: 15,605.49 Sq. meters ❖ Non-FSI area: 18,590.87 Sq. meters ❖ Total BUA area: 34,196.36 Sq. meters
8.	Breakup of the project affected Population with enumeration of Those losing houses/dwelling units Only agricultural land only, both Dwelling units & agricultural Land & landless laborers/artisan			❖ Not Applicable
	a.	SC, ST/Adivasis	:	❖ Not Applicable
	b.	Others (Please indicate whether these Figures are based on any scientific And systematic survey carried out Or only provisional figures, it a Survey is carried out give details And years of survey)	:	❖ Not Applicable
9.	Financial details			
	a.	Project cost as originally planned and subsequent revised estimates and the year of price reference.	:	Project Cost: Rs. 272.19 Cr
	b.	Allocation made for environ-mental management plans with item wise and year wise Break-up.	:	<p>Separate funds have been allocated for implementation of Environmental protection measures;</p> <p>During construction phase;</p> <ul style="list-style-type: none"> ❖ Rs. 35.90 Lakhs have been allocated for the entire construction period. <p>During operation phase;</p> <ul style="list-style-type: none"> ❖ Capital cost: Rs. 153.25 Lakhs & ❖ O & M cost: Rs. 31.37 Lakhs per Annum.

	c.	Benefit cost ratio/Internal rate of Return and the year of assessment	:	--
	d.	Whether (c) includes the Cost of environmental management as shown in the above.	:	--
	e.	Actual expenditure incurred on the project so far	:	Rs.272.19 Cr.
	f.	Actual expenditure incurred on the Environmental Management plans so far.	:	Rs. 123.7 Cr.
10.	Forest land requirement			
	a.	The status of approval for diversion of forest land for non-forestry use	:	Not Applicable
	b.	The status of clearing felling	:	Not Applicable
	c.	The status of compensatory afforestation, if any	:	Not Applicable
	d.	Comments on the viability & sustainability of compensatory afforestation program in the light of actual field experience so far	:	Not Applicable
11.	The status of clear felling in Non-forest areas (such as submergence area of reservoir, approach roads), it any with quantitative information		:	Nil
12.	Status of construction		:	❖ Total constructed area on site as of March 2023 ❖ Rehab Wing B (Completed upto 13th floor) Rehab Wing C (Completed upto 8th floor) Sale Wing A (Completed upto 20th floor)
	a.	Date of commencement (Actual and/or planned)	:	26/08/2011 (Actual)
	b.	Date of completion (Actual and/of planned)	:	December 2026 (Planned)
13.	Reasons for the delay if the Project is yet to start		:	NA
14.	Dates of site visits			
	a.	The dates on which the project was monitored by the Regional Office on previous Occasions, if any	:	Nil
	b.	Date of site visit for this monitoring report	:	Nil

15.	<p>Details of correspondence with Project authorities for obtaining Action plans/information on Status of compliance to safeguards Other than the routine letters for Logistic support for site visits)</p> <p>(The first monitoring report may contain the details of all the Letters issued so far, but the Later reports may cover only the Letters issued subsequently.)</p>	:	--
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MUNICIPAL CORPORATION OF GREATER MUMBAI

Notesheet

Application Number :	EB/5814/D/A/337/1/Amend	Ward Name :	D Ward
Zone Name :	City	Inward Date :	16 Jul 2019
Architect/LE/SE Name :	MOHAMMAD ALI SHAIKH	Issued On :	16 Oct 2020

Authority Remark:

Approved as proposed by CE(DP) considering ongoing redevelopment of cessed properties, subject to following conditions-

- 1) NOC from Fire Dept. as per proposed plans shall be insisted before issue of plans.
- 2) MHADA NOC as per DCPR 2034 shall be insisted before endorsing CC.
- 3) Premium rate for composite and non composite wings shall be as per DCPR 2034.
- 4) Terraces not permissible free of FSI as per regn. 31(1) shall be counted in FSI.



Name : Iqbal Singh Chahal
Designation : Municipal
Commissioner
Organization : Municipal
Corporation Of Greater Mumbai
Date : 16-Oct-2020 19: 03:11

Municipal Commissioner



B.J.IRANI
B ARCH (BOM) MARCH (McG) AIIA

N.J.IRANI
G D ARCH AIIA

Ref.

Date

30th August'2021

To,
State Environmental Impact Assessment Authority (SEIAA)
2nd Floor, Environment Department, Mantralaya,
Mumbai, 400032, State: Maharashtra.

I hereby certify that for "Redevelopment Project" at C.T.S No. 207, 1/207 & 208 of Tardeo Division, Ward No. D-4042-46 & 4039 (D Ward), situated at 122-138, Shuklaji Street, Mumbai., State- Maharashtra, received Concession from MCGM dt 16/10/2020.

Details of approved Built-up area are given as follows:

Approved FSI:	22195.05 Sq.mt.
Commensurate NON FSI	21030.36 Sq. mt.
Total Construction Built-Up Area (FSI + NON FSI)	43225.41 Sq. mt.

We are also submitting herewith the user wise breakup of Commensurate NON FSI as follows:



2/33, Kamal Mansion,
Arthur Bunder Road,
Colaba, Mumbai - 400 005.
Tel. : 2284 0961 - 2283 5212
Fax : 2282 2912
Email : irani_arc@rediffmail.com
arcirani@gmail.com

BREAKUP OF COMMENSURATE NON FSI

No.	DETAILS	AREA (Sq. m.)
1	FSI area	22,195.05
2	NON FSI area	
i	Services	5692.67
ii	Staircase ,lift	3348.06
iii	Parking area, Driveways	9526.86
iv	Passage, lobby and pedestal Area	2462.77
	NON FSI Total	21,030.36
3	Total Construction Built – up area (FSI + Non FSI)	43,225.41


B. J. Irani
(CA/84/7946)



बहन्मुंबई महानगरपालिका

जल अभियंता विभाग

कार्यकारी अभियंता इमारत प्रस्ताव शहर

डी / विभाग

विषय - न. भू. क्र. 1/207, 207 आणि 208 ताडदेव डिव्हीजन, शुक्लाजी
स्ट्रीट, मुंबई - 400 008 या भूखंडावरील प्रस्तावित इमारत.

संदर्भ - 1) ईई वी पी सी / 5814 /डी / ए दि. 09.04.2014.

2) छा. शु. 2100/- संप क्र. 1001736903 दि. 23.04.2014.

मालकाचे नाव - मे. हिल्टन इन्फ्रास्ट्रक्चर डेव्हलपर.

जल अभियंता यांच्या आदेशावरून मी आपणास नमूद करतो की संदर्भित इमारतीस खालील अटीच्या सापेक्ष ह्या विभागापुरती हरकत नाही.

- 1) सदर निवासी / अनिवासी इमारतीसाठी पाणीपुरवठा, प्रचलित नियमानुसार ताबा प्रमाणपत्र सादर केल्यावर दिला जाईल.
- 2) जलतरण तलावासाठी तसेच तत्सम यंत्रणेसाठी पाणीपुरवठा केला जाणार नाही. त्यासाठी वापरण्यात येणारे पाणी महानगरपालिकेच्या पाण्यात मिसळू देवू नये, तसेच त्यासाठी स्वतंत्र साठवण टाकी व वेगळ्या रंगाने रंगवलेल्या स्वतंत्र जलवाहिन्या वापराव्यात.
- 3) शोषण टाकी इमारतीच्या आत / तळघरात प्रस्तावित केलेली असल्यामुळे त्यातील क्लोरीनयुक्त पाण्याच्या सतत संपर्कात येणा-या इमारतीच्या भागांची संरचना आणि बांधकाम करताना पुरेशी काळजी घ्यावी. तसेच त्यातील महानगरपालिकेतर्फे पुरवलेले पाणी दूषित होणार नाही ह्याची पुरेशी काळजी घ्यावी आणि टाकीतून भरून वाहणा-या पाण्याचा निचरा करण्याची पुरेशी व्यवस्था करावी.
- 4) सदर इमारतीच्या घरगुती वापरासाठी व प्लशींगसाठी स्वतंत्र भूमिगत शोषण टाक्यांची उदंचन संचासह व्यवस्था करावी. तसेच ह्या भूमिगत शोषण टाक्या किंवा टाक्यांची झाकणे लगतच्या जमिनीच्या पातळीपासून साधारणपणे 60 सेमी उंचावर असावीत, जेणेकरून बाहेरचे पाणी शोषण टाकीमध्ये जाणार नाही. शोषण टाकी व ड्रेनेज चेंबर्स त्यामध्ये कमीत कमी 1.50 मी. अंतर असावे. तसेच शोषण टाकी व मलशुद्धिकरण टाकी या मध्ये किमान 6 मीटर चे अंतर असावे.
- 5) इमारतीच्या छतावरील पाण्याच्या टाकीचा तळ गच्चीच्या जमीन पातळीपासून कमीतकमी 1.20 मी. उंचीवर असावा.
- 6) प्रस्तावित इमारतीमधील शौचकूपात फलशिंगसाठी फक्त ड्यूएल फलश व्हॉल्व्ह / ड्यूएल फलशिंग सिस्टर्न (आय.एस.आय मार्क असलेले) किंवा मॅन्यूअली कंट्रोलड कॉक्स वापरण्यात यावेत.
- 7) सदर भूखंडामध्ये विहिर अथवा कुपनलिका खणू नये. तसेच अस्तित्वात असलेल्या विहिरीची वा कुपनलिकेची खोली वाढवू नये व त्यांची कोणत्याही प्रकारची दुरुस्ती करण्यापूर्वी विभागातील सहाय्यक अभियंता जलकामे ह्यांची परवानगी घ्यावी.

- 8) सदर इमारतीचे काम पूर्ण करण्याची परवानगी मिळाल्यानंतर मालकाने/विकासकाने इमारतीतील अंतर्गत पाणीपुरवठा करण्यासाठीच्या व्यवस्थेचा प्रस्ताव सादर करून त्यास संबंधित ह्या कार्यालयाकडून मंजूरी प्राप्त करणे आवश्यक आहे.
- 9) सदर ना हरकत प्रमाणपत्र दि.09.04.2014 च्या क्र ईई बी पी सी / 5814 /डी / ए. अन्वये मंजूर झालेल्या आराखडयासापेक्ष देण्यात येत आहे. ह्या आराखडयामध्ये काही फेरबदल झाल्यास सदरहू ना हरकत प्रमाणपत्र रद्द समजण्यात येईल व सुधारित आराखडयासाठी ह्या कार्यालयाकडून नवीन ना हरकत प्रमाणपत्र प्राप्त करणे बंधनकारक राहिल.
- 10) सदरभित इमारतीस ह्याआधी,क्र.जलविभाग/602/का.अ.ज.का.(नि.वस.)/ना.ह.प्र. दि.09.08.2011 अंतर्गत देण्यात आलेले नाहरकत प्रमाणपत्र रद्द करण्यात येत आहे.

सदर ना हरकत प्रमाणपत्र निर्गमित केल्या दिनांकापासून दोन वर्षांपर्यंत वैध राहिल.

सही /-

क्र.जलवि./१५८ /का.अ.(नि.वस.)/ना हरकत प्रमाणपत्र

कार्यकारी अभियंता जलकामे (नियोजन व सशोधन)

3 JUN 2014

मालक - मे. हिल्टन इन्फ्रास्ट्रक्चर डेव्हलपर.

प्रत - मेसर्स क्षितिज कन्स्ट्रक्शन,

शॉप नं. - 9, सर्वोदय केंद्र बिल्डींग 122,

डॉ महेश्वरी रोड, डोंगरी म्युन्सिपल मार्केट जवळ,

मुंबई - 400 009

हे आपल्या दि.23.04.2014 च्या व त्या नंतर दि. 19.05.2014 रोजी सादर केलेल्या कागदपत्रांच्या सदरभात माहितीसाठी.

18/5/14
3-6/14

कार्यकारी अभियंता जलकामे (नियोजन व सशोधन)

(५)

Date: - 13/08/2021

To,
The Executive Engineer,
P & R Department,
Babula Tank Road,
3rd floor, 'B' Ward
Mumbai

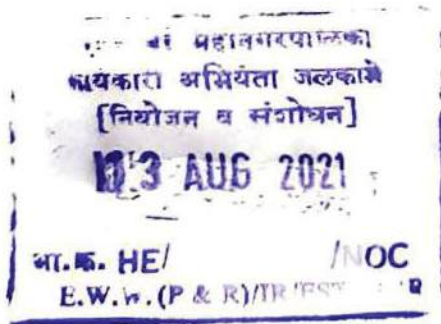
Sub: - Revised HE NOC proposed redevelopment of property Bearing C.S. no. 1/207,
207 & 208 of Tardeo Division situated at shauklaji street in D ward Mumbai-
400008.

Ref:-EB/5814/D/A/Dated: Amended dated 12/08/2021

Sir,

With reference to the above subject, please offer revised HE NOC proposed redevelopment of property Bearing C.S. no. 1/207,207 & 208 of Tardeo Division situated at shauklaji street in D ward Mumbai-400008.

Please do the needful at an earliest and oblige.



Thanking You,
For Kshitij Construction



Safdar R. Kazi
License Plumber No. 389

MUNICIPAL CORPORATION OF GREATER MUMBAI

बृहन्मुंबई महानगरपालिका

NO. DY. CHE/SP/ 884 /P&D

9 AUG 2011

Office of the
Dy. Chief Engineer
(Sewerage Project), P&D,
Cement Godown Bldg.
4th floor, Room No.311,
546 N.M. Joshi Marg,
Byculla (West),
Mumbai-400 011.
Tel.No. 23080041.

To,
✓ M. Safdar R. Kazi (P.L.no.3890),
M/s. Kshitij Construction,
Sarvodaya Kendra, Shop No.9,
122, Dr. Maheshwari Marg,
Mumbai-400 009.

Sub:- N.O.C. to the internal drainage layout of the proposed redevelopment on plot bearing C.S.No.207, 1/207 & 208 of Tardeo Division at Shuklaji Street in 'D' Ward.

Ref:- i) Your letter received on 4th Aug.2011.
ii) I.O.D. No.EB/5814/D/A of 06.05.2011.
I.O.D.Holder:- M/s. Hilton Infrastructure.
iii) EEMMS/3166/City dtd. 5th Aug.2011.
iv) Dy.Ch.E.(S.P.)'s approval dtd. 09.08.2011.

Gentlemen,

With reference to the above mentioned letter, by direction, there is no objection to carry out the work of laying 150 mm. internal pipe sewer lines B-C-D-E-F-G-H-I-J-K-L-M-N-O-P-Q-R, B-S-T-U and street connection B-A, as per the accompanying approved plan, subject to the following conditions:-

1. That the sewer line shall be laid as per the approved plan attached herewith.
2. The work shall be carried out as per the Municipal Specifications and drainage bye-laws.
3. That the vent shaft of adequate size shall be provided at every head manhole/sewer trap chamber and at every 500' intervals, along the sewer line.
4. That the work shall be carried out through licensed plumber only.
5. That the conical manhole of 1.22M. dia. shall be constructed if the depth of manhole is between 1.52M. and 2.28M. and 1.52M. dia. Conical manhole shall be constructed if the depth of manhole exceeds 2.28M. but is less than 5.03M. as per Municipal Specifications with C.I. heavy six light frame & cover, weighing between 231 to 244 Kgs.

(p.t.c.)

-2-

6. That where the depth of the sewer is less than 1.22 M. the rectangular inspection chamber shall be constructed of size 0.91M. x 0.61M or 0.91 M. x 0.45 M. with 230 mm thick brick masonry in C.M. 1: 2 with both sides 20 mm. thick plaster in C.M. 1:1 with C.I. heavy air tight frame and cover (for 0.91 M. x 0.61M Inspection chamber the cover shall weight 259 kg. to 289 kg. and for 0.91 M x 0.45 M. inspection chamber cover shall weigh 223 kg. to 247 kg.) .

7. That the C.I. steps 5.44Kg. each shall be provided for M.H./Chamber at 375 mm.c/c. distance staggered when the depth of the manhole/chamber exceeds 1.22M.

8. That the 30cm. thick 1:2:4 bed c.c. for conical M.H. of size 1.22M. dia. & 1.52M. dia. 23 cm. thick 1:2:4 bed concrete for 0.91M.x0.61M.I.C. & 15cm. thick 1:2:4 bed concrete for 0.91M.x0.45M.I.C. shall be laid which shall be 15cm. all along the external faces of the manhole/chamber.

9. That the sewer should be fully encased with 15cm. thick M.150 (1:2:4) cement concrete when the average depth of the top of the pipe sewer is less than 1 meter and more than 3 meter & shall be half encased with 15cm. (1:2:4) cement concrete when the average depth of the top of the pipe sewer is between 1 to 3 meters.

10. The necessary drop arrangement as per Municipal specifications should be provided in connecting the manholes where drop in the sewer exceeds 0.61 M.

11. That the house drain/down take pipe for all the building at the above mentioned premises should be got approved from E.E.B.P. (CITY-I).

12. That the street connection B-A shall be approved from Asstt.Commissioner 'D' Ward after remitting the necessary charges. The street connection completion certificate shall be obtained from Asstt.Commissioner 'D' Ward and submitted to this office for applying to acceptance of D.C.C.

13. That after the work of internal sewerage network and the street connection is completed, the D.C.C. along with the completion plans as per the drainage work carried out shall be submitted to this office for acceptance.

14. That internal sewer lines and the street connection shall be cleaned before applying for acceptance to D.C.C.

15. The excavated trenches for the drainage line shall not be filled up unless the joint inspection of the drainage work after submission of D.C.C. is carried out and approved by this office.

16. That you will have to submit revised proposal for approval of internal drainage layout to this office as and when the plans of the proposed development on the property under reference are amended.

17. That all pipes from ground floor upto 1st floor level shall confirm to IS:3989.

[contd.P.3]


18. That the sewer line near/abutting the under ground water tank, shall be of C.I. with R.C.C. chamber.

19. That the all C.I. pipe sewer proposed shall be laid in single piece from chamber to chamber or MH to MH with full incasement.

20. That the undertaking on 100 Rs. stamp paper shall be submitted to this office for the maintenance and rectification if any of the C.I. sewer line proposed in still area at the cost and risk of the party before applying for D.C.C.

Acc: 1 Plan.

Yours faithfully,


Executive Engineer
(Sewerage Project) P.&D., CITY

To,
The Executive Engineer,
S.P. (P&D) City,
2nd floor, Engineering Hub Building,
Mumbai

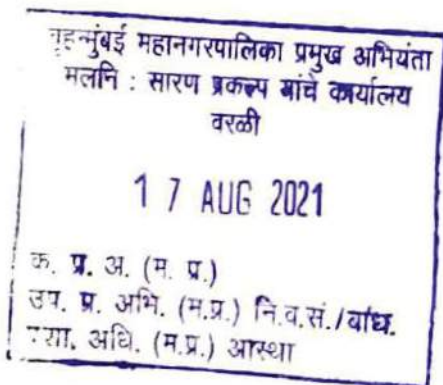
Sub:- Revised N.O.C. to the internal drainage layout for the proposed redevelopment on plot bearing C.S .No. 1/207, 207 & 208 of Tardeo Division situated at Shuklaji street,, in 'D"-Ward Mumbai

Ref.: 1) DY.CHE/SP/884/P&D dard 09-08-2011
2) EEBPC/5814/D/A/dated 12.08.2021.

Sir,

With reference to the above subject please offer Revised N.O.C. to the internal drainage Layout for the proposed redevelopment on plot bearing C.S .No. 1/207, 207 & 208 of Tardeo Division situated at Shuklaji street, in 'D"-Ward Mumbai We are ready to pay necessary charges for the same

Please do the needful at an earliest and oblige.



Thanking You,
For Kshitij Construction



Safdar R. Kazi
License Plumber No. 3890

BRIHANMUMBAI MAHANAGAR PALIKA

SOLID WASTE MANAGEMENT DEPARTMENT

4th floor, Worli Garage Bldg, Dr.E.Moses Road, Worli, Mumbai-400018.24935687/88/93, Fax-24922166

To,
M/s. Hilton Infrastructure
52/53, Harbour Crest Building,
Gr. Floor, Shivdas Champs Road,
Mazgaon, Mumbai-400010

३. शुद्ध आमत/प.क.व/ २०५५ /रा.र
२६-३-८-२०११

Valid upto 31.12.2011

Sub :- S.W.M. N.O.C. for Proposed redevelopment of property bearing C.S. No. 1/207, 207 & 208 of Tardeo Division situated at Shuklaji Street, Mumbai-400008

Ref:- 1) EB/5814/D /A dtd 6.5.2011
2) Your letter dated 1.8.2011.
3) Consent letter from Assistant Engineer(Projects) of MRVCL u/no. MRVC/W/104/ADH-GMN/Earthwork/Relcon/2008/45 dated 18.5.11.

Gentlemen,

With reference to the proposed /redevelopment allowed on plot under reference along with all the conditions of IOD issued / amended plans approval letter issued by EE(BP)City, the debris management plan submitted by you has been approved & there is no objection to issue to debris clearance certificate under the "Construction & Demolition waste (Management & Disposal) Rules-2006". The site under above reference has been visited on 2.8.2011. As per data sheet submitted by you the Demolition, Excavation & Construction debris is approx. **1500 Cu.Mt.** which will be transported & unloaded at construction of retaining wall in connection with the extension of harbor lines between Andheri & Goregaon stations on Western Railway upto 31.12.2011 & only in the dry spel of monsoon 2011 as per the letter issued by **Dy.Ch.Project Manager (Civil) of MRVCL** u/no. MRVC/W/104/ADH-GMN/Earthwork/Contract dtd 09.01.2009. Few conditions, which are related to the existing project work, which involves Environmental concern, are required to abide strictly which are described as below.

1. The generation of debris, arrangement for it's proper storage at the site, transportation plan & the agencies appointed for the same with registration nos of vehicles to be deployed and the fina destination where debris are to be unloaded by them shall be strictly as per the debris management plan submitted by you. Under no circumstances debris should be unloaded at any dumping ground of M.C.G.M.
2. It is binding on Owner / Developers to barricade along the boundary of the plot to sufficient height (i.e. minimum 20 ft.) so as to avoid escape of fugitive dust particles into the atmosphere, as well as its deposits to spread on streets / footpaths / drains etc. emanating out from the plot area while carrying out all type of demolitions, excavations, construction, loading, unloading & transporting activities carried out during project implementation period.
3. Under no circumstances debris should keep in haphazard manner on site which will be liable for penal action as per the new Bye-Laws, 2006 for Cleanliness of Greater Mumbai.
4. On many occasions, it is observed that the vehicles deployed carries dust , liquid slurry stuck up with the body & wheels of the transport vehicles , which is then spread on the streets. The Builder / Architect shall therefore ensure & make arrangement to clean / wash the vehicles before the vehicles move out on street. Water shall be sprinkled on earth filled vehicles to prevent dust while transporting.
5. The vehicles deployed shall be properly covered with tarpaulin or other suitable material firmly fixed on the vehicles to ensure that neither any dust escape nor any debris is allowed to fall on the roads during it's transportation.
6. The transport vehicles deployed shall be complying with applicable laws and meeting relevant Euro standards for fuel and emission as per National Auto Fuel Policy of India. It is further ensure that the Trasport vehicles comply with all applicable traffic regulations.

7. Noise levels during construction activities shall be restricted within the M.P.C.B.'s permissible norms.
8. Adequate measures shall be taken to prevent any earth, sand, top-soil, cement, concrete, debris or any other material to fall or be washed into the drain from any stockpile thereof.
9. Drains in the vicinity of the worksite shall not be silted or obstructed due to the construction works.
10. Effective measures should be taken to minimize dust pollution caused by construction works, e.g. water spray, shielding etc. so as to achieve optimum SPM/RSPM level as per MPCB's permissible norms.
11. All C&D waste should be stored and removed for disposal quickly. They should not left to accumulate at the site for more than 48 hours.
12. All waste water generated at the construction site must be properly treated & disposed. No discharge of sewage or other untreated waste water into drain or land is allowed.
13. Oil & Chemicals in drums, carboys, containers etc. shall be stored in a designated storage area within a building or covered shed with concrete floors & facilities to contain any leak or spillage.
14. A full containment bundwall shall be provided for bulk storage oil tanks including skid tanks. A collection sump should be provided to collect any spillage. All leak & spillages in the storage area or construction site shall be collected & sent to a licensed toxic waste collector for proper disposal.
15. The C & D waste generator will observe all appropriate traffic control measures as recommended by the city traffic police for debris site.
16. Internal temporary storage spots shall remain the same as shown in site plan submitted by you.
17. Any changes in the Debris Management Plan submitted by you shall be intimated to the undersigned & fresh approval be obtained.
18. No building material used, unused, waste, all types of debris or its residues are permitted to be stored or allowed to be scattered on portion of footpath/roads outside the plot area.
19. A copy of the approval received from Ex.Engr.(Env) Zone I shall be kept with the drivers during transporting the debris /construction waste.
20. The permission is granted presuming that the documents submitted by you are genuine one and violation of any condition stated above or submission of false documents will attract the action.
21. This NOC is issued as per Municipal Corporation of Greater Mumbai Construction & Demolition & De-silting Waste (Management & Disposal), Rules, 2006 & Cleanliness & Sanitary Byelaws 2006 for Cleanliness of Greater Mumbai, failing which the penalties as per Annexure 16 of the C & D Rules 2006 shall be levied.

Yours faithfully

[Handwritten Signature]
Ex.Engr.(Env.) Zone-I

Registration No.s of the vehicles which will be used under this NOC.

- 1) MH-04-E-7774
- 2) MH-04-E-7775
- 3) MH-04-E-7776
- 4) MH-04-E-7779

HILTON INFRASTRUCTURE

Basement

(61)

Rubberwala House, Dr. Nair, Road, Mumbai - 400 011.

To,
Ex. Engr (Env) Zone I,
Worli Garage Building,
Dr. E. Moses Road,
Worli, Mumbai - 400018.

1.08.2011

Sub:- Debris Management plan in respect of property
bearing C.S. No. 1/207, 207 & 208 of Tardeo Division
situated at Shuklaji Street, Mumbai-400008

Ref :- EBBP/5814/D /A dtd 6.5.2011

Dear Sir,

With reference to above subject work, we are enclosing herewith
following documents.

1. Proforma A & B.
2. Copy of I.O.D.
3. Approved layout plan from B.P. department.
4. NOC from Mumbai Railway Vikas Corporation Ltd.
5. Consent letter of transport contractor.

You are requested to scrutinize the proposal, inspect the site & give
necessary NOC for debris Management plan please.

Thank ng you,

Yours faithfully,

<p>बृहन्मुंबई महानगरपालिका उप प्रमुख अभि (ता) (प्रकल्प) प्रकर यांचे कार्यालय</p> <p>02 AUG 2011</p> <p>2055</p> <p>क.उमज/अ./ /ककव्य</p>

Kazi
(M/s) Hilton Infrastructure

PROFORMA 'A'
Check list for Debris Management Plan

Name & Address of Developers Builder : M/s. Hilton Infrastructure
52/53, Harbour Crest Building,
Gr. Floor, Shivdas Champsi Road,
Mazgaon, Mumbai-400010

Name & Address of Architect : M/s. Spaceage Consultants
B-106, Natraj Building,
Mulund Goregaon Link Road,
Mulund(W), Mumbai-400080

I.O.D Reference No. : EB/5814/D /A dtd 6.5.2011

Sr. No.	Description	Details
1.	Brief project description, Location details, type of building-residential/commercial etc.	Proposed redevelopment of property bearing C.S. No. 1/207, 207 & 208 of Tardeo Division situated at Shuklaji Street, Mumbai-400008
2.	Project completion period (months)	36 months
3.	Project commencement date	After getting C.C.
4.	Demolition debris in cu.mt. Excavated earth/debris in cu mt.	Demolition - 300Cu.Mt Excavation - 1000 Cu. Mt. Construction - 200Cu. Mt
5.	Total quantity	1500 Cu. Mt.
6.	Expected debris to be utilized within the subject site	Nil
7.	Expected debris to be disposed at outside site with location & address. Quantity of daily disposal: Total period till when to be disposed off:	1500 Cu. Mt. at construction of retaining wall in connection with the extension of harbor lines between Andheri & Goregaon stations on Western Railway
8.	In home temporary storage facility within the subject site (location to be marked on two sets of suite plans to be submitted): Period till when will be consumed within the site with Activity/Bar Chart:	As shown on plan.
9.	Permission / Authorization to dump the debris at outside site from the owner/ authority	NOC from Dy.Ch.Project Manager (Civil) of MRVCI u/no. MRVCMW/104/ADH-GMN/Earthwork/Contract dtd 09.01.2009
10.	Debris transportation agency. Name & Address:	M/s. Shyam Narayan & Brothers, 159-A/A, 102, Vinay Bhavya Complex, C.S.T. Road, Kalina, Santacruz (E), Mumbai-98.
11.	Tentative vehicle numbers by which the debris will be transported	List attached

Kazi

Signature of Owner/Developer

[Signature]

Signature of Architect with stamp

PROFORMA 'B'

Work Plan For Excavated Earth/Debris Management

Name & Address of Developer/Builder: M/s. Hilton Infrastructure

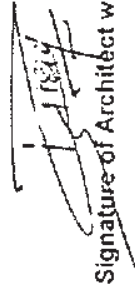
Name & Address of Architect: M/s. Spaceage Consultants

I.O.D. reference No. EBBP/5814/D /A dtd 6.5.2011

Sr. No.	Location/site of the Work & completion period	Total estimated generation of excavated earth/debris approx. size LxWx Depth	The quantity of daily Disposal at own/outside Location & address OR Disposal at any other construction site with location & address No. of vehicles per day	Period of work till when it will be sent to own/ outside disposal site or any other construction site	Expected Quantity of Utilization within The site under Subject and Stacking Method	Period of work till when utilized within the site under subject and stacking method	Name of the transport contractor if debris sent to own / outside disposal Site or any other Construction on site	Tentative vehicle registration nos. provided by the transport contractors	Name and designation of Authorized signatory who will sign the challans when debris sent outside
(1)	(2)	(3)	(4)	(5)	(6)	(7)	(8)	(9)	(10)
1	Proposed redevelopment of property bearing C.S. No. 1/207, 207 & 208 of Tardeo Division situated at Shuklaji Street, Mumbai-400008	Demolition - 300 Cu.Mt Excavation - 1000 Cu.Mt Construction - 200 Cu. Mt	1500 Cu. Mt. of construction wall in the connection with the extension of harbor lines between Andheri & Goregaon stations on Western Railway	36 months	Nil	36 months	M/s. Shyam Narayan & Brothers, 159-A/A-102, Vinay Bhavya Copicy, C.S.T. Road, Kalina, Santacruz (E), Mumbai - 98	List attached	-

Kazi

Signatures of Owner/Developer



Signature of Architect with stamp



मुंबई रेलवे विकास कॉर्पोरेशन लि.

MUMBAI RAILWAY VIKAS CORPORATION LTD.

(A PSU of Govt. of Maharashtra)

No. MRVC/W/104/ADH-GMN/Earthwork/Contract

Date: 09.01.09

To,
M/s Releon Infraprojects Pvt. Limited,
A-01/101, Krishna Apartment, Juhu Lane,
Opp. Mahavir Jain Vidyalaya,
Andheri(West).
Mumbai - 400 058

NOTICE TO PROCEED WITH THE WORK

Sub: *Earthwork in formation & cutting, construction of retaining & boundary wall etc in connection with the extension of harbour lines between Andheri to Goregaon stations on Western Railway.(MUTP-II)*

Bid No. MRVC/W/104/ADH-GMN/2008/41

Ref: This office LOA No. MRVC/W/104/ADH-GMN/Earthwork/Contract dt 23.12.08

Dear Sirs,

Pursuant to your furnishing the requisite security as stipulated in ITB clause 34.1 for the work of "Earthwork in formation & cutting, construction of retaining & boundary wall etc in connection with the extension of harbour lines between Andheri to Goregaon stations on Western Railway.(MUTP-II)" @ a Bid Price of. Rs 16,25,59,287.42 (Rs Sixteen Crores Twenty five lakhs fifty nine thousand two hundred and eighty seven and paise forty two only), you are hereby instructed to proceed with the execution of the said works in accordance with the contract documents.

Yours faithfully,



19/01/09

S.S. Kedia
(S.S. Kedia)
Dy. Chief Project Manager (Civil)

TRUE COPY

By M.A. Ejaz

19/01/09

M. ARSHAD EJAZ
Notary Public of India



Engineering National Wealth

RELCON INFRAPROJECTS PVT. LTD.

(Formerly known as M/s. Reliance Construction Company)

Corporate Office: A-01/101, Krishna Apt., Juhu Lane, Opp. Mahavir Jain Vidyalaya
Andheri (West), Mumbai - 400 058. • Tel: 6733 9939 • Fax: 6733 9939
E-mail: contact@relcon.co.in • Website: www.relcon.co.in

19.05.2011

TO WHOMSOEVER IT MAY CONCERN

This is to state that the work of "Earthwork in formation and cutting, construction of Retaining wall and Boundary wall etc. in connection with the extension of harbour lines between Andheri and Goregaon Station by M/s. Mumbai Railway Vikas Corporation Limited is awarded to us vide work order no. MRVC/W/104/ADH/GMN/Earthwork/Contract dated 09.01.2009.

We further state that in the said work, Earthwork in excavation and transportation and Earthwork in reclamation is awarded to M/s. Shyam Narayan & Brothers on our behalf. The work has to be completed by 31.12.2011

RELCON INFRAPROJECTS PVT. LTD.

G.S. Jaiswal

Authorised Signatory

RELCON
PROJECTS

मुंबई रेलवे विकास कॉर्पोरेशन लि.

(एक सार्वजनिक उपस्था)

MUMBAI RAILWAY VIKAS CORPORATION LTD.

(A PSU of Govt. of India, Ministry of Railways)

MRVCW/104/ADH-GMN/EARTHWORK/RELCON/2011

DL 05.03.2011

To
Executive Engineer, (Environment),
M.C.G.M.,
Mumbai --

Dear Sir,

Sub:- Name of work:- Earthwork in formation and cutting,
construction of retaining wall and boundary wall etc. in
connection with extension of harbour lines between Andheri
to Goregaon stations of Western Railway (MUTP-II).

Ref:- MRVCW/104/ADH-GMN/2008/41.

It is proposed to do filling of Murrum of approximately 20,000 Cum between Amboli railway crossing to Kandivali station in piece metal basis within Railway limit on the west side, and excavation of about 20,000 Cum between Amboli Railway crossing to Jogeshwari station. The work is proposed to be completed up to 31.12.2011.

It is kindly requested to approved the debris management plan at an early date and oblige.

(D. Sampath Kumar)
4/3/11

(D. SAMPATH KUMAR)
Assistant Engineer (Projects)
Mumbai Railway Vikas Corporation,
Churchgate, Mumbai - 400 020

761

HILTON INFRASTRUCTURE

49

Rubberwala House, Dr. Nair, Road, Mumbai - 400 011.

To,
M/s. Shyam Narayan & Brothers,
159-A/A, 102, Vinay Bhavya Coplex,
C.S.T. Road, Kalina,
Santacruz (E),
Mumbai-98.

25.7.2011

Sub:- Debris Management plan in respect of property
bearing C.S. No. 1/207, 207 & 208 of Tardeo Division
situated at Shuklaji Street, Mumbai-400008

Ref :- EB/5814/D /A dtd 6.5.2011

Gentlemen,

With reference to above subject work, we are pleased to inform you that you are appointed as a transport contractor for transportation of the debris from the above site & unload the same at construction of retaining wall in connection with the extension of harbour lines between Andheri & Goregaon stations on Western Railway

Thanking You,

Yours faithfully,

Kazi

(M/s. Hilton Infrastructure)

SHYAM NARAYAN & BROS.

CIVIL ENGINEERS & CONTRACTORS

159-A/A-102, Vinay Bhavya Complex, C. S. T. Road, Kalina, Santacruz (E), Mumbai - 400 008.
Tel. : 2651 6047, Telefax : 2652 8396 • E-mail : shyamnarayan@rediffmail.com

To,
M/s. Hilton Infrastructure
52/53, Harbour Crest Building,
Gr. Floor, Shivdas Champs Road,
Mazgaon, Mumbai-400010.

28.07.2011

Sub:- Debris Management plan in respect of the property
bearing C.S. No. 1/207, 207 & 208 of Tordeo Divis on
situated at Shuklaji Street, Mumbai-400008.

Ref :- EBBP/5814/D /A dtd 6.5.2011

Dear Sir,

With reference to above subject work & the further discussion, we are ready to carry out the work of transportation of the debris from the above plot and unload the same at construction of retaining wall in connection with the extension of harbour lines between Andheri & Goregaon stations on Western Railway as per agreed terms and conditions.

My vehicle nos are as follows.

- | | |
|------------------|-----------------|
| 1) MH-04-E-7774, | 2) MH-04-E-7775 |
| 3) MH-04-E-7776 | 4) MH-04-E-7779 |

Thanking you,

Yours faithfully,

(M/s. Shyam Narayan & Brothers)

Regd. Office : 269/8, Nandanvan, Sion Cemetery Road, Sion (W), Mumbai 400 022.

Workshop : Mohd. Hussain Compound, Indira Nagar, Near Maharashtra Weigh Bridge, Kurla (W), Mumbai-70

Telefax : 2408 4982 • Visit us at : www.snbinfra.com

OWNERS OF : HYDRAULIC EXCAVATORS, ROCK BREAKERS, ROCK SPLITTER, DUMPER, BULL-DOZERS, VIBRATORY ROLLERS & GRADER

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

**Office of the Dy. Chief Fire Officer (R-I), Byculla – Regional Command Centre,
 Byculla Fire Station Bapurao Jagtap Marg, Byculla (West), Mumbai-400008.**

=====

SUB.:- Stipulating Fire -Protection & Fire-fighting requirements for the construction of proposed High-rise Residential-cum-Commercial building on property bearing C.S.No.-1/207, 207 & 208 of Tardeo Division, Ward No. D-4042,-46 & 4039 (D-Ward) situated at 122-138 Shuklaji Street, Mumbai-400008.

REF:- i) Online proposal submitted by Shaikh & Associates– Licensed Surveyor.
 ii) Online File No. – **EB/5814/D/A/CFO/1/Amend.**

EXECUTIVE ENGINEER (B.P.) CITY,

In this case, please refer to the N.O.C. stipulating Fire-protection & Fire-fighting requirements issued by this department vide no. FB/HR/City/128, dated- 20/04/2011, for the proposed construction of High-rise Residential-cum-Commercial building having two level basements beyond building line (which is common for rehab & sale wing) + ground + 1st to 6th parking floors + 7th podium floor + 8th to 50th upper residential floors with a total height of 187.80 mtrs. from general ground level up to terrace level.

Further, please refer to the N.O.C. stipulating Fire-protection & Fire-fighting requirements issued by this department vide no. FB/HR/City/610, dated- 04/05/2013, for the proposed construction of High-rise Residential-cum-Commercial building with sale and rehab wing the two level basement is common for both the wings. The Sale building having two level basements common for Sale & Rehab building) + ground floor + mezzanine floor + 1st to 4th podium floor, thereafter the building is divided into two wings i.e. Wing 'A' & 'B', both wings are having 5th to 16th + part 17th upper residential floors with a total height of 58.15mtrs. from general ground level up to terrace level. The Rehab building comprises of two wings i.e. Wings 'C' & 'D' having two level basements (common for Rehab and Sale Building) Wing 'C' comprises of ground floor + 1st to 12th upper residential floors with a total height of 38.00mtrs. from general ground level up to terrace level & Wing 'D' comprises of ground floor + 1st to 8th (part upper commercial floors with a total height of 30.90mtrs. from general ground level up to terrace level.

LICENSED SURVEYOR HAS NOW SUBMITTED AMENDED BUILDING PLANS AND PROPOSED AMENDMENTS AS FOLLOWING:

- 1) Licensed Surveyor has changed the Nomenclature of earlier approved Rehab & Sale Building. Sale building Wing 'A' & 'B' is now proposed as Wing 'A-1' & Wing 'A-2', Rehab Building Wing 'C' is proposed as Wing 'B' & earlier approved commercial Wing 'D' is now proposed as Wing 'C' as shown on plans.
- 2) **Wing 'A-1' & Wing 'A-2' (earlier Wing-A & B):**
 - a) Licensed Surveyor has proposed to delete mezzanine floor from earlier approved Wing 'A' building.
 - b) Licensed Surveyor has proposed 1st floor as a commercial floor instead of mezzanine floor as shown on plans.
 - c) Licensed Surveyor has proposed 02 nos. of car lifts for podium parking instead of 6.00 mtrs. wide two way ramp as shown on plans.
 - d) Licensed Surveyor has proposed 09nos. of flats at 17th floor of Wing 'A-1' & 'A-2' instead of 02nos. of gym, swimming pool & open to sky terrace as shown on plans.
 - e) Licensed Surveyor has proposed 05nos. of additional residential floors i.e. 18th to 22nd floor over the earlier approved building. By virtue of this, now high rise

residential cum commercial Wing 'A' building comprising of two wings i.e. Wing 'A-1' & Wing 'A-2' having 02 level basements (-8.30mtrs. level) common for Rehab & Sale building + ground & 1st floor for N.R. + 2nd to 5th podium parking floors + 6th to 22nd upper residential floors with a total height of 69.95mtrs. from general ground level up to terrace level as shown on plans.

f) Proposed minor changes in planning of staircases & lifts of Sale building Wing 'A-1' & 'A-2'.

3) Wing 'B' (earlier Wing 'C'):

a) Proposed one additional upper residential floor i.e. 13th floor over earlier approved Wing 'C' building. By virtue of this, now high residential Wing B' building having 02 level basements (-8.30mtrs.) common for Rehab & Sale building + part stilt & part ground floor + 1st to 13th upper residential floors with a total height of 40.90mtrs. from general ground level up to terrace level as shown on plans.

b) Proposed 05nos. of flats on 12th floor of Wing 'B' instead of 02nos. of flats & part terrace as shown on plans.

c) Proposed minor changes in planning of Staircases & lifts of Rehab building Wing 'B'.

4) Wing 'C' (earlier Wing 'D'):

a) Proposed one additional upper residential floor i.e. 9th floor over earlier approved Wing 'D' building. By virtue of this, now high Commercial Wing 'C' building is having 02 level basements (-8.30mtrs.) common for Rehab & Sale building + part stilt & part ground floor + 1st to 9th upper commercial floors with a total height of 38.30 mtrs. from general ground level up to terrace level as shown on plans.

b) Proposed 09 nos. of N.R. & part refuge at 8th floor of Wing 'C' instead of 09 nos. of shops & part terrace as shown on plans.

c) Proposed minor changes in planning of Staircases & lifts of Rehab building Wing 'C'.

5) Licensed Surveyor has proposed minor changes in 02 level basements in each wing. However, also proposed few changes in the floor wise users of the building as shown on plans & as under;

I] FLOOR WISE USERS ARE AS UNDER:-

SALE WING 'A-1' & 'A-2':

Floors	Users	
	Wing 'A-1'	Wing 'A-2'
2 nd basement (-8.30 mtrs.) (Common)	Surface car parking & 02 wheeler parking by way of 6.00 mtrs. wide two way ramp+ 02 nos. of space for M.C.G.M. Utility + U.G.tanks.	
1 st basement (-4.90mtrs.) (Common)	Surface car parking & 02 wheeler parking by way of 6.00 mtrs. wide two way ramp + 03 nos. of space for M.C.G.M. Utility + gents & ladies rest rooms + gents & ladies toilets + Meeting place + Waiting room + Rain water harvesting tank	
Ground floor	Double height Entrance lobby + 03 nos. of N.R. + 08 nos. of lower level duplex N.R. with internal staircase + society office + sub-station + 02 nos. of meter rooms	
1 st floor	08 nos. of upper level duplex N.R. with internal staircase + 01 no. of N.R. accessible by two staircases, 01 staircase having protected lobby	
2 nd floor (podium)	Surface car parking & 02 wheeler parking by way of two car lifts + electric meter room.	
3 rd & 4 th floor (Podium)	Surface car parking & 02 wheeler parking by way of two car lifts	

5 th floor (podium)	02 tier stack car parking & 02 wheeler parking by way of two car lifts & transfer girder beam	
6 th floor	06 nos. of flats in Wing A-1 + common Fitness center accessible from both Wings + 06 nos. of flats in Wing-A-2	
7 th Refuge floor	04 nos. of flats + refuge area + part of common Refuge area & common terrace	04 nos. of flats + refuge area + part of common Refuge area & common terrace
8 th to 13 th floors	06 nos. of flats on each floor	06 nos. of flats on each floor
14 th Refuge floor	04 nos. of flats + refuge area at two locations	04 nos. of flats + refuge area at two locations
15 th to 22 nd floors	09 nos. of flats on each floor	09 nos. of flats on each floor
Terrace	Open to sky (treated as refuge area)	Open to sky (treated as refuge area)

REHAB BUILDING- WINGS 'B' & 'C'

Floors	Users	
	Wing 'B'	Wing 'C'
2 nd basement (-8.30mtrs.) (Common)	Surface car parking & 02 wheeler parking by way of 6.00 mtrs. wide two way ramp+ 02 nos. of space for M.C.G.M. Utility + U.G. tanks.	
1 st basement (-4.90mtrs.) (Common)	Surface car parking & 02 wheeler parking by way of 6.00 mtrs. wide two way ramp + 03 nos. of space for M.C.G.M. Utility + gents & ladies rest rooms + gents & ladies toilets + Meeting place + Waiting room + Rain water harvesting tank	
Ground floor (Part Stilt)	Entrance lobby + 02 N.R. + Meter room + OWC + society office + surface parking	Entrance lobby + 02N.R. + 01 No. lower level of duplex N.R. with internal staircase + Meter room + Space for Rehab STP + Surface Parking
1 st floor	06 nos. of flats	01 no. upper level of duplex N.R. with internal staircase + 01 no. of lower level of N.R. having 05 level i.e. 1 st to 5 th floor level. (All levels are interconnected to each other by internal staircase + 02 nos. of N.R.
2 nd floor	05 nos. of flats	03 nos. of N.R. + 01 no. of 1 st mid-level N.R. of N.R. having 05 level
3 rd floor	05 nos. of flats	05 nos. of N.R. + 01 no. of 2 nd mid-level N.R. of N.R. having 05 level
4 th floor	05 nos. of flats	01 no. of N.R. + 01 no. of 3 rd mid-level N.R. of N.R. having 05 level
5 th floor	05 nos. of flats	09 nos. of N.R. + 01 no. of upper level N.R. of N.R. having 05 level
6 th floor	05 nos. of flats	14 nos. of N.R.
7 th floor	05 nos. of flats	13 nos. of N.R.
8 th Refuge floor	04 nos. of flats & Refuge area	09 nos. of N.R. & Refuge area
9 th floor	05 nos. of flats	Fitness center + recreational area
10 th to 13 th floor	05 nos. of flats on each floor	Open to sky terrace (treated as refuge area)
Terrace	Open to sky (treated as refuge area)	

II] DETAILS OF STAIRCASES PROVIDED ARE AS UNDER:-**SALE WING 'A-1' & 'A-2':**

Wings	Staircase description	Width of staircase	Nos. of staircase	Type of staircase
Wing 'A-1'	Leading from 02 level basement to 02 nd floor (podium) then diverted and leads to terrace level	1,50 mtrs	One	Enclosed
	Leading from ground to 1 st floor level.	1.50 mtrs.	One	Enclosed
Wing 'A-2'	Leading from ground floor to 02 nd floor (podium) then diverted and leads to terrace level	1.50 mtrs	One	Enclosed
	Leading from 2 nd basement to 1 st floor	1.50 mtrs.	One	Enclosed
For N.R.s	Internal Staircase- Leading from ground to 1 st floor	1.50 mtrs	08nos. (one for each N.R.)	Open

Staircase of each wing is internally located & adequately ventilated to outside air from open to sky void above 7th floor. Staircases of the basement having smoke check lobby for basement & staircases leading from basement shall be staggered at ground floor and then diverted to upper floor as shown on plans.

REHAB BUILDING WING 'B' & 'C':

Wings	Staircase description	Width of staircase	Nos. of staircase	Type of staircase
Wing 'B'	Leading from 02 nd level basement to terrace level	1.50mtrs	One	Enclosed
Wing 'C'	Leading from 02 nd level basement to terrace level	1.50mtrs	One	Enclosed
For N.R.	Internal Staircase- Leading from ground to 1 st floor	1.20mtrs.	One	Open

Staircase of each wing is externally located & adequately ventilated to outside air above ground level. Staircases of the basement having smoke check lobby for basement & staircases leading from basement shall be staggered at ground floor and then diverted to upper floor as shown on plans.

III] DETAILS OF LIFTS PROVIDED ARE AS UNDER;**SALE WING 'A-1 & 'A-2':**

Wings	Lifts Type	Profile	Nos. of lifts
Wing 'A-1'	Passenger lifts	Leading from ground to top floor	04 nos.
	Passenger lifts	Leading from ground to 1 st floor	01 no.
Wing 'A-2'	Passenger lifts	Leading from ground to top floor	04 nos.
For basement	Passenger lifts	Leading from ground to 2 nd basement floor	01 no.
For podium	Car lifts	Leading from ground to 5 th Car-parking (podium) floor	02 nos.

One of the passenger lift from each wing shall be converted into fire lift. The lift lobby & common corridor at each floor level is ventilated to outside air by open to sky void as shown on the plan. The lift lobby at each basement level shall be pressurized and

separated from the rest of the basement areas, by a smoke-activated fire resisting door of two hours' fire resistance as shown on the plan.

REHAB WING 'B' & 'C':

Wings	Lifts Type	Profile	Nos. of lifts
Wing 'B'	Passenger lifts	Leading from ground to top floor	02 nos.
Wing 'C'	Passenger lifts	Leading from ground to top floor	02 nos.

One of the passenger lift from each wing shall be converted into fire lift. The lift lobby & common corridor at each floor level is adequately ventilated to outside air as shown on the plan. The lift lobby at each basement level shall be pressurized and separated from the rest of the basement areas, by a smoke-activated fire resisting door of two hours' fire resistance as shown on the plan.

IV] REFUGE AREAS PROVIDED IN EACH WING ARE AS FOLLOWS:

SALE WING 'A-1 & 'A-2':

Wing	Refuge floor	Refuge area (required)	Refuge area (proposed)	At the height of from ground level.
Wing 'A-1'	7 th floor	124.55 sq. mtrs.	62.32 sq. mtrs. + Common 140.00 sq. mtrs. refuge area for Wing 'A-1' & 'A-2'	23.55mtrs.
	14 th floor	161.76.mtrs.	161.80 mtrs. (on two locations)	43.85mtrs.
Wing 'A-2'	7 th floor	124.55 sq. mtrs.	62.32sq.mtrs. + Common 140.00 sq. mtrs. refuge area for Wing 'A-1' & 'A-2'	23.55mtrs.
	14 th floor	161.29 sq.mtrs.	161.80 sq.mtrs. (on two locations)	43.85mtrs.

In addition to that, terrace of each wing will be treated as refuge area

Refuge area calculation shall be verified by E.E.(B.P.) City as per rules & excess refuge area above 4.25% if any, shall be counted in F.S.I. as per D.C.P.R. -2034.

REHAB WING 'B' & 'C':

Wing	Refuge floor	Refuge area (required)	Refuge area (proposed)	At the height of from ground level.
Wing 'B'	8 th floor	48.43sq.mtrs.	49.75sq.mtrs.	23.50mtrs.
Wing 'C'	8 th floor	19.16 sq.mtrs.	20.43 sq.mtrs.	30.50 mtrs.

In addition to that, terrace of both wings will be treated as refuge area. In Wing-C earlier terrace was treated as Refuge area but since the height of the building is now proposed as 38.30 mtrs. the Refuge area is provided on 8th floor & accordingly hardship is submitted by the L.S. which is considered herewith.

Refuge area calculation shall be verified by E.E.(B.P.) City as per rules & excess refuge area if any, shall be counted in F.S.I. as per D.C.P.R. -2034.

VI OPEN SPACE:

As per the proposed plans uploaded by Licensed Surveyor the building abuts on 18.29 mtrs. wide Shuklaji Street on East side as shown on plans.

Open spaces all around the Building as under;

Sides	From building line to plot boundary
Common open spaces of Wing 'A-1' & 'A-2'	
North	6.00 mtrs. to 7.73 mtrs.
South	6.00 mtrs. to 10.34 mtrs.
West	6.41mtrs. to 8.17mtrs. joint open space between Sale & Rehab building
East	2.00 mtrs. to 3.00 mtrs. + 18.29 mtrs. wide Shuklaji Street

OPEN SPACE:

As per the proposed plans uploaded by Licensed Surveyor the building B & C accessible by 6.00mtrs. wide open space of Wing 'A' which is connecting to 18.29mtrs. wide Shuklaji Street on East side as shown on plans.

Open spaces all around the Building as under;

Sides	From building line to plot boundary
Wing 'B' & 'C'	
North	3.00mtrs. including parking
South	3.00mtrs. to 5.00mtrs. wide paved R.G.
West	1.91mtrs. to 3.00mtrs.
East	6.41mtrs. to 8.17mtrs joint open space between Rehab & Sale building

VII ACCESS RAMP:

No. of Ramp	Width	Details
01	8.00 mtrs.	02 way ramp leading from ground level to 2 nd basement level

THE PROPOSAL IS CONSIDERED FAVORABLY DUE TO FOLLOWING:

- i) The site abuts on 18.29 Mtrs. wide Shuklaji Street on East side.
- ii) This proposal falls under DCPR 33(7).
- iii) There shall be no compound wall on Road side i.e. East side.
- iv) This department has already issued N.O.C.'s vide No. i) FB/HR/City/128, dated- 20/04/2011,(later treated as cancelled) & ii) FB/HR/City/610, dated- 04/05/2013.
- v) The L.S has uploaded the C.C. u/no. EB/5814/D/A dated 22/10/2014 issued by A.E.B.P.(City-III) stating that the C.C. granted for Rehab Wing 'B' & 'C' for entire work & further C.C. for Wing A-1 & A-2 up to 12th floor including podium floors as per approved plans.
- vi) Licensed Surveyor has submitted the hardship letter for the proposed building with various deficiencies such as provision of staircase, etc & various concessions obtained as per the report submitted by Ch.E.(D.P.) for approval of Hon. M.C./Sir. Licensed Surveyor has also submitted the Note sheet dated 16/10/2020, for the necessary concessions which are approved by Ch. Eng. (D.P.) / Hon'ble M.C.
- vii) In this case, Licensed Surveyor has proposed high rise Commercial Wing 'C' building (before the changed nomenclature of Wing 'D' building) having height 38.30mtrs. As per C.C. issued by E.E.(B.P) construction work of the building is carried out & completed up to 8th floor level. Also Architect has given hardship letter to consider the refuge area on 8th floor at the height of 30.50 mtrs. as refuge area on the floors below

8th floor is not possible to provide for the reason stated as already allotted to the tenants and same is considered.

- viii) Also, Licensed Surveyor has proposed wing A1 and A2 building comprising of ground plus 22nd floors where refuge area is required on 21st floor. As per C.C. issued by E.E.(B.P) construction work of the building is carried out & completed up to 12th floor level. Also Architect has given hardship letter due to planning and space constraint, it is not possible to provide refuge area on 21st floor. Architect has represented not to insist refuge area on 21st floor which is very small in size and to consider terrace as refuge area and same is considered.
- ix) Advanced in-built fire-fighting system such as wet-riser cum down-comer system, hydrant system, sprinkler system, Drencher system, fire-alarm & fire-detection system, public address system etc. are recommended for the said proposed building.
- x) Architect/Licensed Surveyor has been directed to provide Automatic smoke detection system above & below the false ceiling level wherever false ceiling is proposed in the building.
- xi) Now L.S has proposed only one floor above earlier approved 8th floor & will be use for fitness center and recreational area hence same is considered.

E.E.B.P.-(City) is hereby requested to scrutinize the plans as per amended DCPR2034 & verify civil work and all other requirements pertaining to civil Engineering side including open spaces, corridors, staircases, amendments, height, refuge area in Sq. Mtrs & floor occupancy of the building. If any changes in the plans other than mentioned above then E.E.B.P. (City) shall refer back the proposal to this department for revised NOC till then further process shall not be permitted.

In view of above, as far as this department is concerned, there is no objection from fire safety point of view, for the proposed construction of High-rise Residential & Commercial building comprising of two buildings i.e. Sale Building & Rehab building, Sale Building i.e. Wing 'A' building comprising of two wings i.e. Wing 'A-1' & Wing 'A-2' having 02 level basements (-8.30mtrs. level) common for Rehab & Sale building + ground & 1st floor for commercial + 2nd to 5th podium parking floors + 6th to 22nd upper residential floors with a total height of 69.95mtrs. from general ground level up to terrace level. Rehab Building comprising of two wings i.e. Wing 'B' & Wing 'C'. High rise Residential Wing-B is having 02 level basements (-8.30mtrs.) common for Rehab & Sale building + part stilt & part ground floor + 1st to 13th upper residential floors with a total height of 40.90mtrs. from general ground level up to terrace level and High Commercial Wing 'C' building is having 02 level basements (-8.30mtrs.) common for Rehab & Sale building + part stilt & part ground floor + 1st to 9th upper commercial floors with a total height of 38.30mtrs. from general ground level up to terrace level as per details shown in the enclosed plan signed in token of approval, subject to satisfactory compliances of the following requirements.

1. Due to amendments proposed by the Licensed Surveyor in the amended building plans, it is very much necessary to suggest amendments in some of the earlier N.O.C. requirements & additional N.O.C. requirements have to be stipulated from Fire Protection and Fire Fighting installations point of view.
2. Earlier N.O.C.'s of Fire Protection & Firefighting requirements issued by this department vide No.- FB/HR/City/610, dated- 04/05/2013 shall be strictly adhere to along with modified following stipulated amendments & additional Fire Protection & Firefighting requirements:
3. **Amendment to the requirement Sr. No. 15E) of NOC No. FB/HR/City/610, dated- 04/05/2013**

Automatic Sprinkler System (for each wing of Rehab & Sale Building)

The Automatic sprinkler system in each shop, each N.R., each flat, society office, fitness center, recreation area, pump room, lift lobby, common corridor at each floor level of each wing, each building and entire basement & podium including car parking area as per the standards laid down by N.B.C./T.A.C. or relevant I.S. specification.

4. Amendment to the requirement Sr. No. 15f) of NOC No. FB/HR/City/610, dated-04/05/2013**Automatic Smoke Detection System (for each wing of Rehab & Sale Building)**

Each electric meter room, each lift machine room, each shop, each N.R., fitness center, recreation area, society office, pump room of the building shall be protected with Automatic smoke detection system with main console panel at ground floor level.

A) ELEVATION FEATURES: (for Wing 'A' & 'B')

As shown on plan, elevation features/treatment shall be given as per the MCGM guidelines & DPCR-2034.

B) OTHER NOC / PERMISSIONS:

Necessary permissions / N.O.C. for licensable trade activity, addition/ alteration, interior work, etc. shall be obtained from competent Municipal Authorities & CFO's Department.

5. No any other changes except mentioned above as shown on the uploaded plans shall be carried out in the building unless/until permitted by this department.**The concerned party has paid scrutiny fees time to time as mentioned below;**

Sr. No.	Type of Proposal	Total Gross built up area in(Sq. mtrs.)	Scrutiny fee paid in (Rs.)	Receipt No./SAP Doc. No.	Date
1	Proposal	32699.90	Rs.5,15,000/-	<u>1673293</u> 1000612839	08/06/2010
		-----	Rs. 50,000/-	<u>1676434</u> 1000622313	22/06/2010
2	1 st Amendment	32699.90	Rs.2,52,500/-	<u>1774292</u> 1001380350	13/03/2013
2	Now 2 nd Amendment	Now the Architect has certified the Gross built-up area as 37178.00 sq.mtrs. & has paid online additional Scrutiny fees of Rs. 1,37,6000/- vide Receipt no-0008787 & 0008788 & SAP Doc No-100942760 Dated 2/12/2020 & Also paid Rs 2/- on auto-generated Challan no. CHE/CFO/46867/20 on 09/12/2020 as per revised schedule of fees.			

However, E.E.B.P. (City) is requested to verify the total gross built-up area and inform this department, if the same is found to be more for the purpose of levying additional scrutiny fees, if required.

Note:

- The firefighting installation shall be carried out by approved licensed agency.
- The area calculation shown in the enclosed plan shall be checked by E.E.B.P.(City).
- E.E.B.P.(City) is requested to scrutinize the plans as per amended D.C.P.Reg. & verify entire civil work & all other requirements pertaining to civil engineering side including open spaces, corridors, staircases, amendments, height and refuge area in sq. mtrs. & floor occupancy of the building. The width of abutting road & open spaces are mentioned in plans as submitted by the Architect attached herewith. These parameters shall be verified by E.E.(B.P.) as per the concerned Regulations of DPCR-2034/DCR-1991 (as applicable) before granting any permission

(I.O.D./C.C./further C.C.), if found any contradiction, this proposal/ Requirement letter shall be referred back to this Department for revised remarks from fire safety point of view.

- d. E.E.B.P.(City) shall verify the proposal in context with the relevant Regulations of DCPR-2034/DCR-1991 (as applicable) & verify the compliance as per same. If the same is not complied with, this proposal shall be referred back to this department for issuing fresh remarks from fire safety point of view.
- e. The schematic drawings/plans of automatic sprinkler system, automatic smoke detection system, wet riser system, public address system, manual fire alarm system shall be got approved from CFO.
- f. The area, size, etc. for the sprinkler system, detection system, fire alarm system, wet riser system, public address system, electrical duct, etc. to be verified & examined by MEP Consultant.
- g. Separate necessary permission for any licensable activity shall be obtained from concerned department of MCGM/CFO's department till then shall not be allowed to use.
- h. There shall be no any tree located in the compulsory open spaces or in the access way near the Entrance gates.
- i. This Requirement letter is issued only from Fire Protection & Fire-Fighting requirements point of view on behalf of the online application from Architect without prejudice to legal matters pending in court of law, if any. Any matter pertaining to authenticity or legality shall be cleared by concerned Owner/ Occupier/ Developer/Architect, etc.
- j. The plans approved along with this Fire safety requirement letter are approved from Fire Risk / Fire Safety point of view only. Approval of these plans does not mean in any way of allowing construction of the building. It is Architect / Developers responsibility to take necessary prior approval from all concerned competent authorities for the proposed construction of the building.
- k. As per section 3 of Maharashtra Fire Prevention and Life Safety Measures Act- 2006, it is the liability of Owner/Occupier to provide & maintain the Fire Prevention & Life Safety Measure in good repair and efficient condition at all the time in accordance with the provisions of Maharashtra Fire Prevention and Life Safety Measures Act or the Rules.

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**Scrutinized & prepared by
DIVISIONAL FIRE OFFICER
MUMBAI FIRE BRIGADE**

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**Approved by
DY. CHIEF FIRE OFFICER
MUMBAI FIRE BRIGADE**

772 HILTON INFRASTRUCTURE

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

Date: 27/08/2021

To,
Member Secretary,
State Level Expert Appraisal Committee – II (SEAC-II)
15th Floor, New Administration Building
Environment Department, Mantralaya,
Mumbai, Maharashtra.

UNDERTAKING

We, M/s. HILTON INFRASTRUCTURE., Proposed a Redevelopment Project at C.T.S No. 207, 1/207 & 208 of Tardeo Division, Ward No. D-4042-46 & 4039 (D Ward), situated at 122-138, Shuklaji Street, Mumbai.,

We hereby undertake that, to achieve following parameters and standards of treated sewage and monitor the same as per Environment (Protection) Rule, 1986 and as per the NGT Order dt. 30.04.2019 Principal Bench in O.A. no. 1069/2018.

No.	Parameter	Standard
1.	pH value	5.5 to 9.0
2.	Biochemical Oxygen demand (BOD), 3 days at 27 ^o C	10 mg/l
3.	Total Suspended solids (TSS)	20 mg/l
4.	Chemical Oxygen Demand (COD)	50 mg/ l
5.	Nitrogen Total	10 mg/l
6.	Phosphorus Total	1.0 mg/l
7.	Fecal Coliform	100 MPN/ 100 ml

Yours faithfully,

FOR HILTON INFRASTRUCTURE

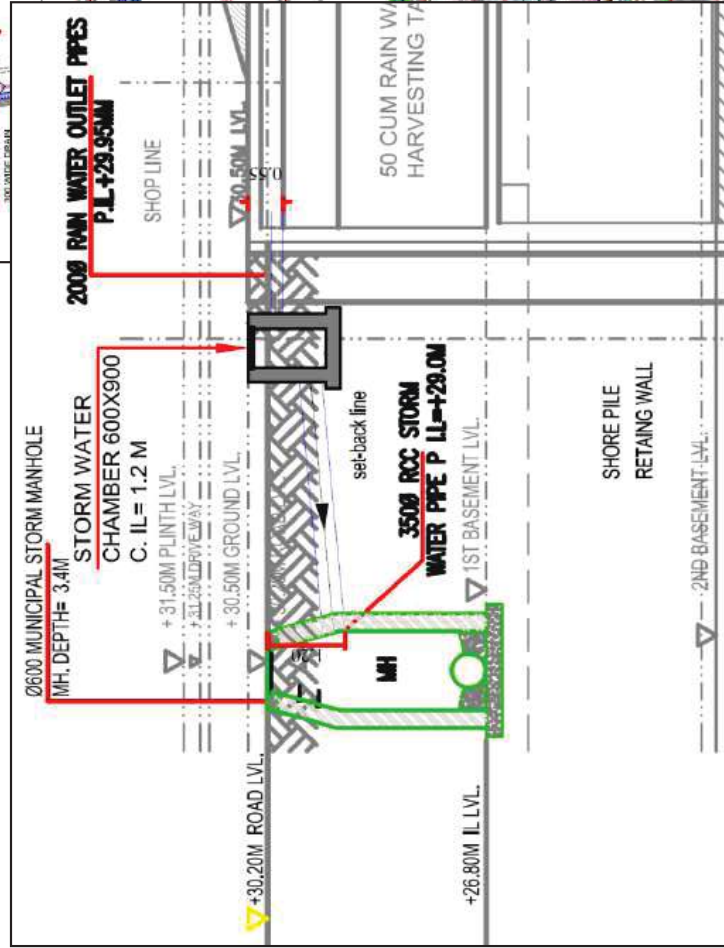
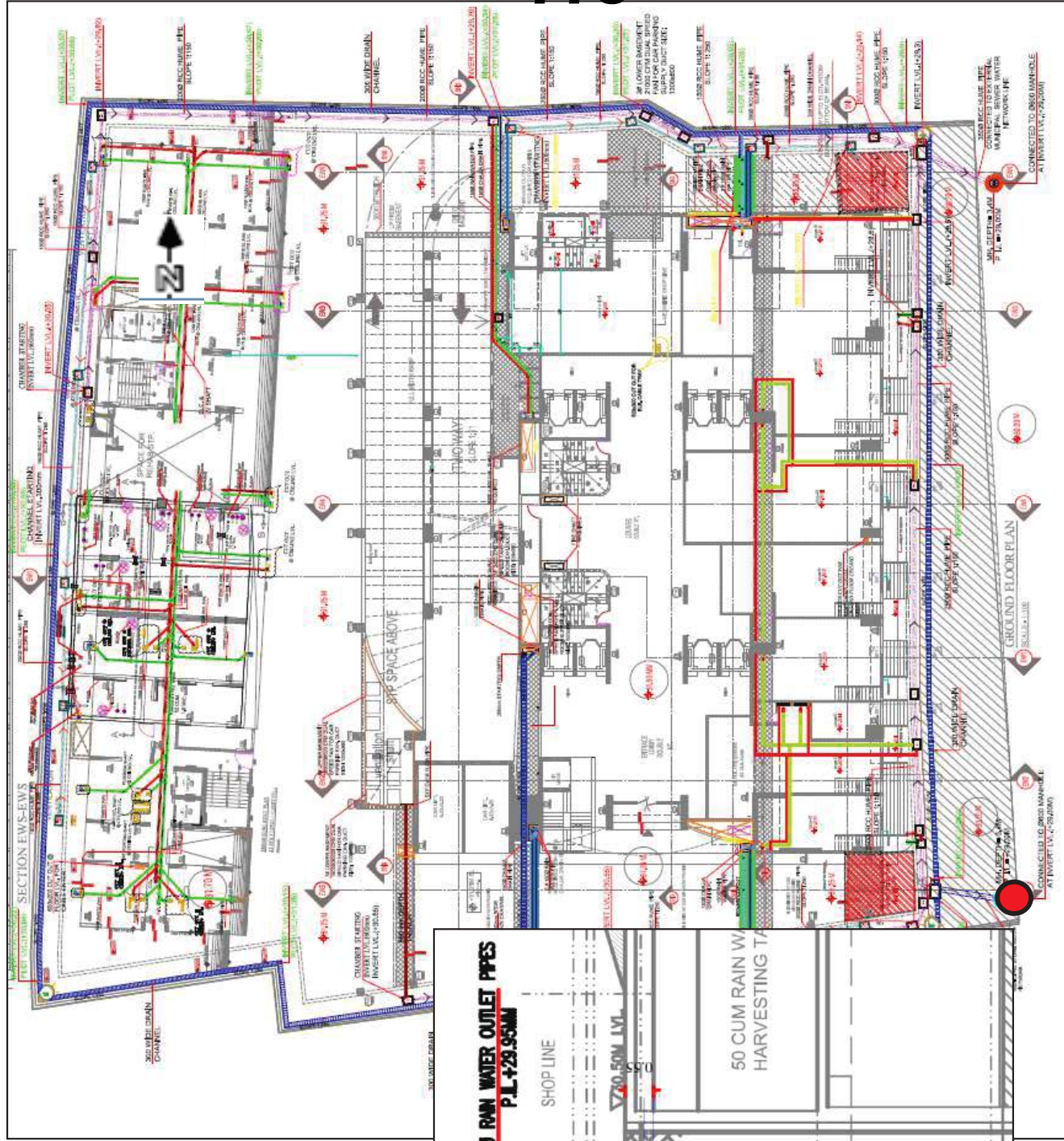

AUTHORIZED SIGNATORY

STORMWATER DRAINAGE LAYOUT - GROUND LEVEL

773

LEGENDS :	SYMBOL
DESCRIPTION	
SOIL PIPE	
WASTE PIPE	
VENT PIPE	
RAIN WATER PIPE	
CHAJJA DRAIN PIPE	
DOMESTIC PIPE	
FLUSH PIPE	

 Connection to External Storm Water Line



GL: + 30.50 M
Internal Drain IL: + 29.70 M
External Drain IL: + 29.00 M
Man hole Depth : 3.4 M

LAYOUT SHOWING DRAINAGE SYSTEM

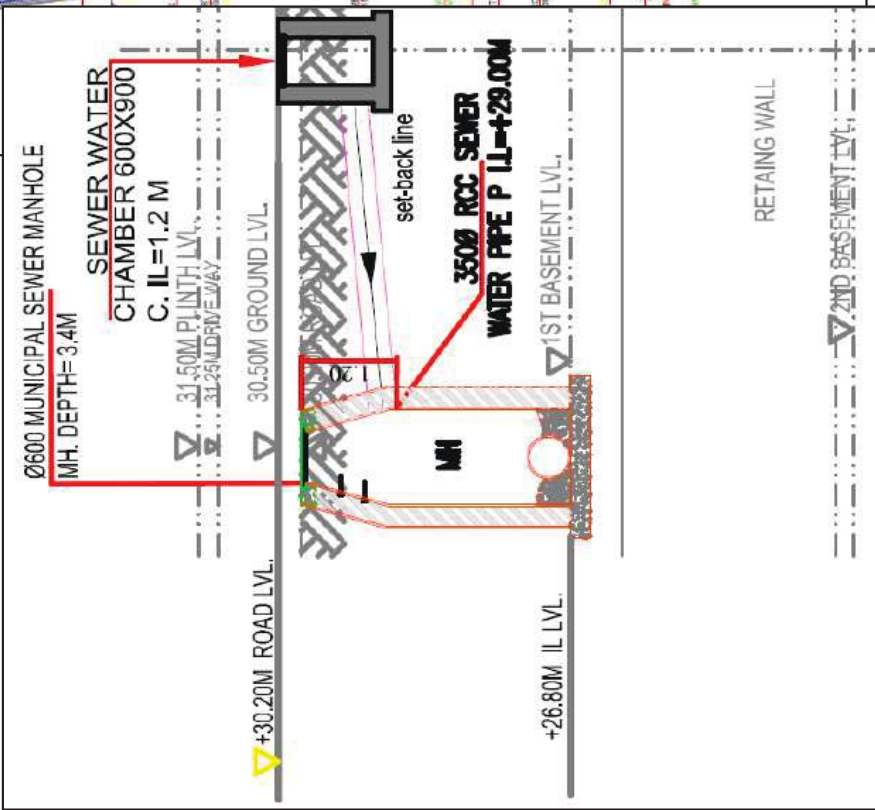


LEGENDS :

DESCRIPTION	SYMBOL
SOIL PIPE	⊕
WASTE PIPE	⊖
VENT PIPE	⊙
RAIN WATER PIPE	⊕
CHAJJA DRAIN PIPE	⊕
DOMESTIC PIPE	⊕
FLUSH PIPE	⊕



Connection to External Sewer



GL: + 30.50 M
 Internal Drain IL: + 29.30 M
 External Drain IL: + 29.00 M (Connected to 600 dia. Manhole)
 Man hole Depth : 3.4 M

775 HILTON INFRASTRUCTURE

Rubberwala House, Dr. A.R. Nair Road, Agripada, Mumbai – 400 011. | Phone : 2302 7800.

Date: 27/08/2021

To,
Member Secretary,
State Level Expert Appraisal Committee – 2 (SEAC-2)
15th Floor, New Administration Building
Environment Department, Mantralaya,
Mumbai, Maharashtra.

UNDERTAKING

We, M/s **Hilton Infrastructure** have proposed “Redevelopment Project at C.T.S No. 207, 1/207 & 208 of Tardeo Division, Ward No. D-4042-46 & 4039 (D Ward), situated at 122-138, Shuklaji Street, Mumbai, Maharashtra.

We hereby undertake that; we will do operation and maintenance of the STPs for 10 years.

Yours faithfully,

HILTON INFRASTRUCTURE,



AUTHORIZED SIGNATORY

REVISED EMP INCLUDING 10 YEARS OF STP MAINTAINANCE COST
During Operational Phase

No.	Component	Description	Capital cost Rs. In lacs.	Operational and Maintenance cost (Rs. in lacs/yr.)
1	AIR AND NOISE ENVIRONMENT			
1.1	Cost for Ambient Air Quality & Noise Monitoring	On-site Sensors	No set up cost is involved as already considered Construction Phase	0.50
		By outside MoEF & CC Approved Laboratory	*No set up cost is involved	0.22
1.2	Cost for DG Stack Exhaust Monitoring	DG stack – 1 No	*No set up cost is involved	0.10
1.3	Cost for plantation	RG area on ground	2.15	1.20
2	WATER ENVIRONMENT			
2.1	Cost for Waste water treatment #	Cost for sewage Treatment Plants	60.85	23.14
		Cost for sewage sump pump including the discharge pipe till STP	2.50	0.20
		Air ozonator for STP of sale building	4.28	At Actual
2.2	Cost for Environmental Monitoring	On-site Sensors	36.00	2.00
		By outside MoEF & CC Approved Laboratory	*No set up cost is involved	0.09
2.3	Cost for Water Conservation (Rain Water Harvesting System)	Cost for RWH Tank	11.00	0.55
		Cost for Treatment unit for rain water tanks	6.00	0.02
		Cost for Environmental Monitoring (rain water)	*No set up cost is involved	0.09

Cont...

REVISED EMP INCLUDING 10 YEARS STP MAINTAINANCE COST

During Operational Phase

No. Component	Description	Capital cost Rs. In lacs.	Operational and Maintenance cost (Rs. in lacs/yr)
3	LAND ENVIRONMENT		
3.1	Cost for Solid Waste Management	9.00	1.80
	Cost for Treatment of biodegradable garbage in OWC		
	Cost for Monitoring of organic manure	*No set up cost is involved	0.16
4	ENERGY CONSERVATION		
4.1	Use of renewable energy	28.25	1.50
	Total Cost	160.03**	31.47

* No set up cost is involved as monitoring contract shall be given to outside MoEF approved laboratory

**** Cost Already incurred on site for EMP : 34.65 Lakhs (50 KL STP And OWC)**

Project proponent shall operate and maintain STP for 10 years. After 10 years while handing over STP to Society, M.O.U. shall be made with society to accept responsibility of further O & M of STP.

LEGENDS

1		RESIDENTIAL CAR PARKING
2		M.C.G.M CAR PARKING
3		TWO - WHEELER PARKING



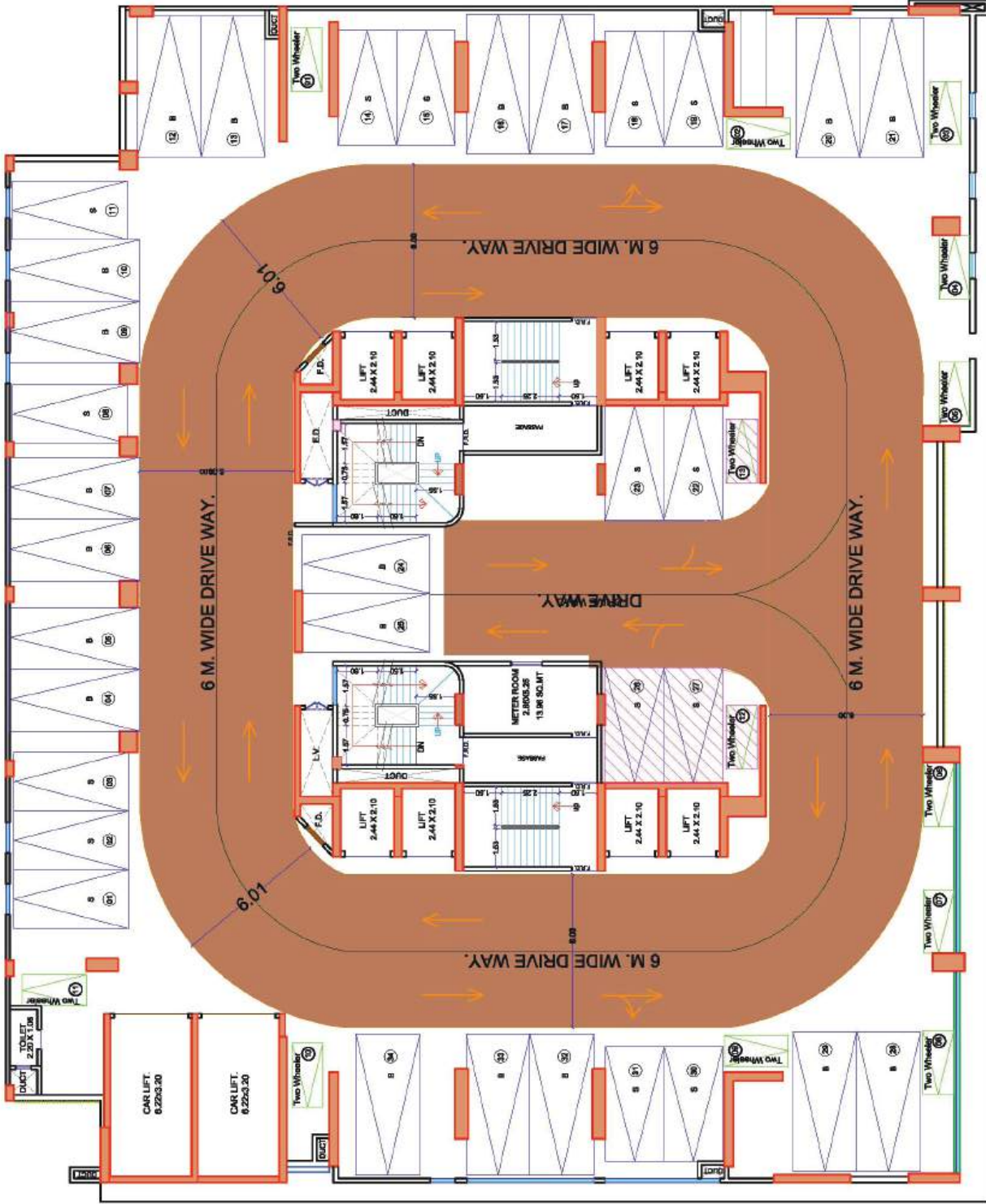
2ND PODIUM FLOOR

BIG CAR	19
SMALL CAR	17
TOTAL	36
TWO WHEELER	13

PROFORMA :- B

CONTENT OF SHEETS

DESCRIPTION	DATE	SIGNATURE			
CERTIFICATE OF AREA					
CERTIFIED that I have surveyed the plot under reference on _____ and that the dimensions are stated 4245.66 sq.mt. In document ownership.					
OWNERS NAME & SIGNATURE	SIGNATURE OF ARCHITECT				
M/S HILTON INFRASTRUCTURE					
DESCRIPTION OF PROPOSAL :					
PROPOSED REDEVELOPMENT OF PROPERTY BEARING C.S.M. NO. 207/1027/2008 OF TARIKHO DIVISION NO. 5-400-48 & 4008 (D) WARD SITUATED BY AT 12-126, SHIVAJI STREET, MUMBAI-41					
LICENSED SURVEYOR					
Shalkh & Associates Rubbenwala House, Dr. A.R. Naik Road, Airoli, Mumbai - 41					
FILE NO.	DRAWN BY	SCALE	DESIGNED BY	DATE	SNO. NO.
---	SHAIYA	1:100		19/09/2020	---



2ND FLOOR PLAN (PODIUM)

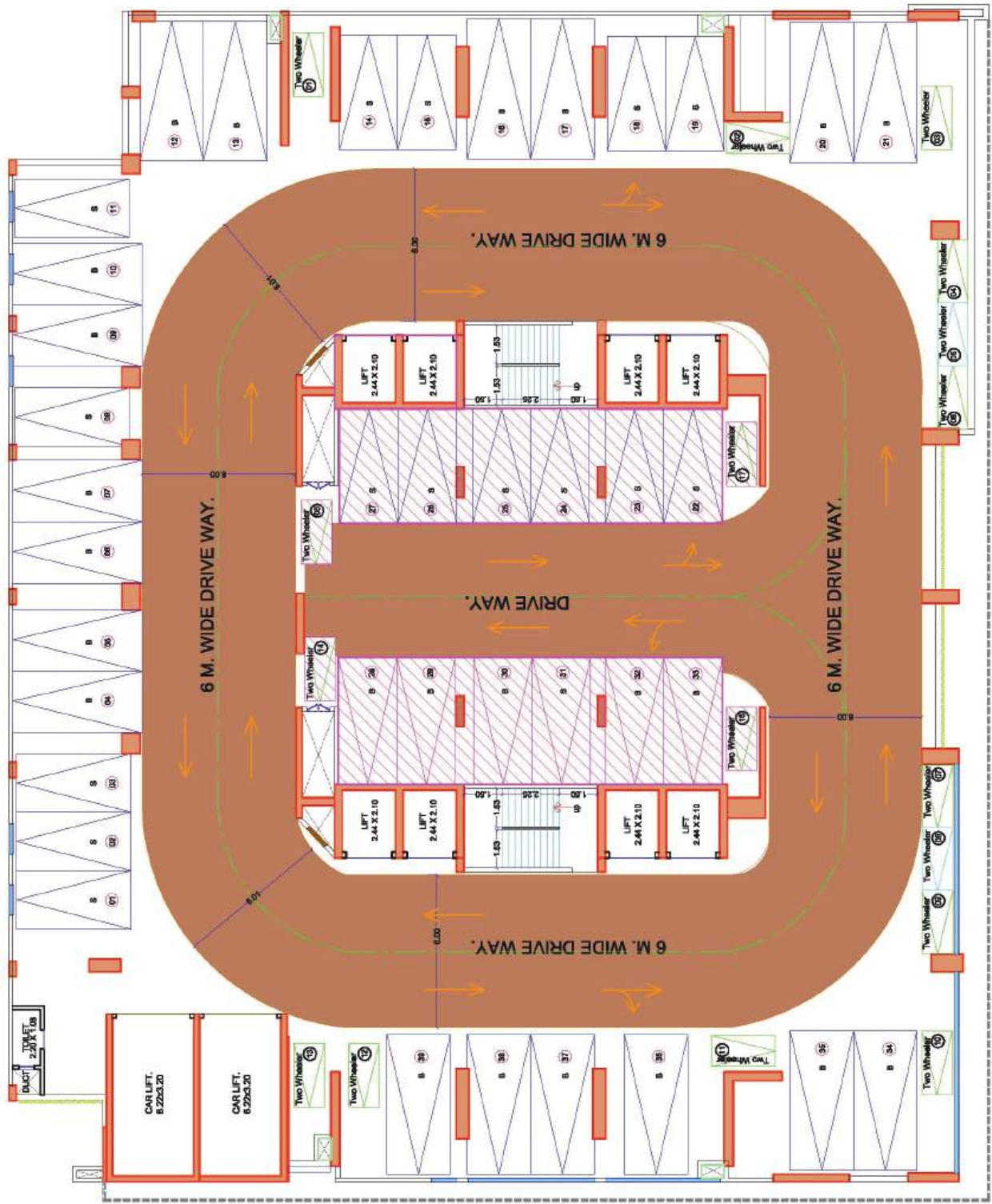
LEGENDS

1		RESIDENTIAL CAR PARKING
2		M.C.G.M CAR PARKING
3		TWO - WHEELER PARKING

= ELECTRICAL CHARGING POINT

3RD PODIUM FLOOR	
BIG CAR	24
SMALL CAR	15
TOTAL	39
TWO WHEELER	15

PROFORMA :- B					
CONTENT OF SHEETS					
DESCRIPTION	DATE	SIGNATURE			
CERTIFICATE OF AREA					
CERTIFIED that I have surveyed the plot under reference on _____ and that the dimensions area stated 4246.86 sq.mt. in document ownership.					
OWNERS NAME & SIGNATURE	SIGNATURE OF ARCHITECT				
M/S HILTON INFRASTRUCTURE					
DESCRIPTION OF PROPOSAL :-					
PROPOSED REDEVELOPMENT OF PROPERTY BEHIND G.S.NO. 207, 2007 AREA OF TARGEDIVYARD NO. D-4024P & 4026 (D. WARD) SITUATED BY AT 122-138, SULOJAS STREET, MUMBAI-4					
LICENSED SURVEYOR					
shaikh & associates Ruberwasa House, Dr. A.R. Nair Road, Agipatti, Mumbai-11 Tel : 2602 7800					
FILE NO.	DRAWN BY	SCALE	CHECKED BY	DATE	DRG NO.
	SHARDA	1:100		19/09/2020	-



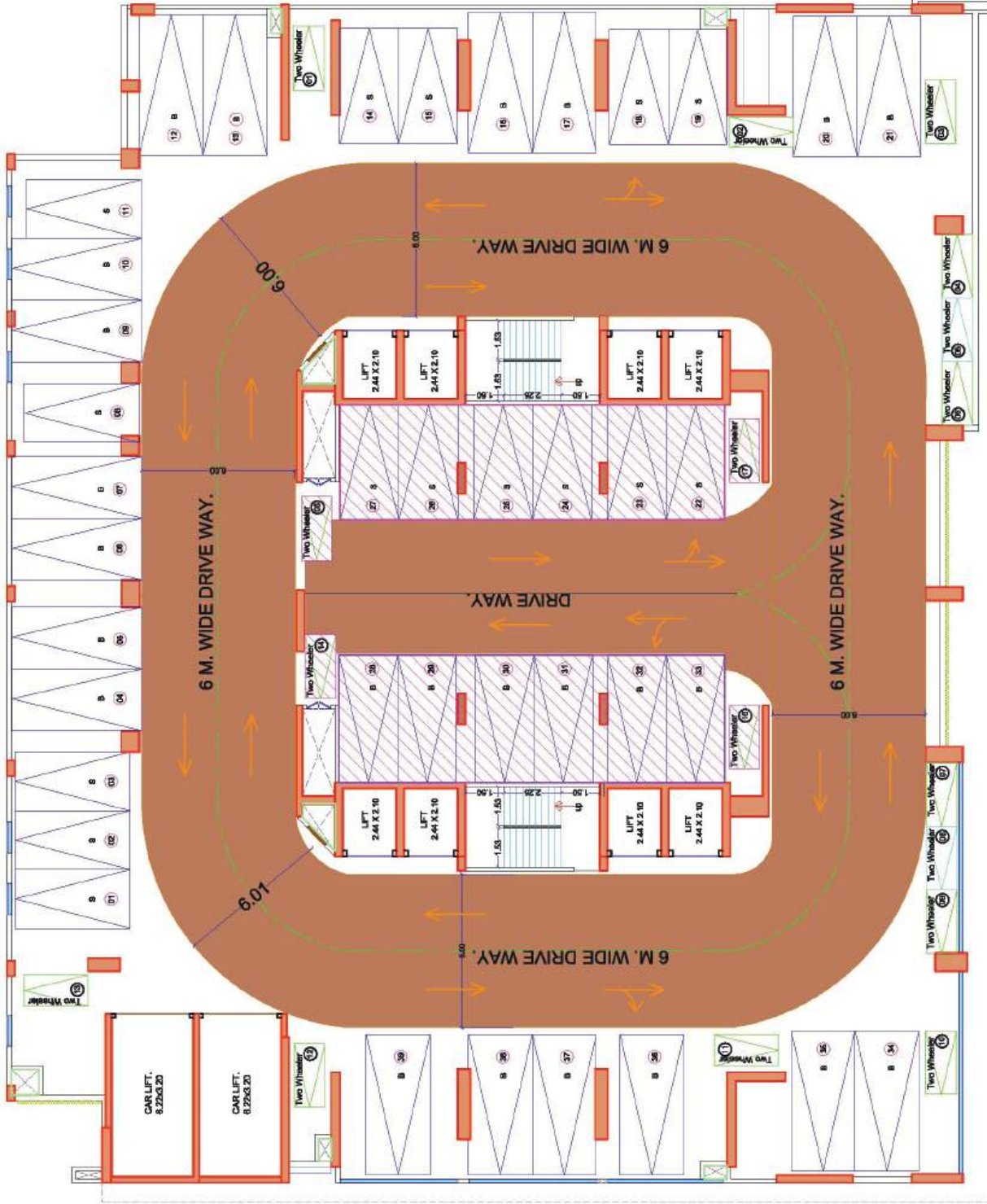
3RD FLOOR PLAN (PODIUM)

LEGENDS

1		RESIDENTIAL CAR PARKING
2		M.C.G.M CAR PARKING
3		TWO - WHEELER PARKING

= ELECTRICAL CHARGING POINT

4TH PODIUM FLOOR	
BIG CAR	24
SMALL CAR	15
TOTAL	39
TWO WHEELER	15



PROFORMA - B

CONTENT OF SHEETS

DESCRIPTION	DATE	SIGNATURE
CERTIFICATE OF AREA		
CERTIFIED that I have surveyed the plot under reference on _____ and that the dimensions area stated 4245.88 sq.mt.		
in document ownership.		

OWNERS NAME & SIGNATURE
M/S HILTON INFRASTRUCTURE

DESCRIPTION OF PROPOSAL :
PROPOSED REDEVELOPMENT OF PROPERTY BEARING C.S.NO. 207/1087 4306 OF TARGED DIVARD NO. C-4042483 4038 (D WAKO), SITUATED BY AT 122-136, SHIKHAR STREET, MAHARAJA-8

LICENSED SURVEYOR

SD shaikh & associates
Rajeshwar Reddy, Dr. A.R. Nair
Rajeshwar Reddy, Rajeshwar Reddy
Tel : 2302 7800

FILE NO.	DRAWN BY	SCALE	CHECKED BY	DATE	REV. NO.
	SHARVA	1:100		19/09/2020	

4TH FLOOR PLAN (PODIUM)

LEGENDS

1		RESIDENTIAL CAR PARKING
2		M.C.G.M CAR PARKING
3		TWO - WHEELER PARKING

= ELECTRICAL CHARGING POINT

5TH PODIUM FLOOR	
BIG CAR	46
SMALL CAR	34
TOTAL	80
TWO WHEELER	15



PROFORMA - B	
CONTENT OF SHEETS	
DESCRIPTION	DATE
SIGNATURE	
CERTIFICATE OF AREA	
CERTIFIED that I have surveyed the plot under reference on _____ and that the dimensions are stated 4245.86 sq.mt. in document ownership.	
OWNERS NAME & SIGNATURE	SIGNATURE OF ARCHITECT
M/S HILTON INFRASTRUCTURE	
DESCRIPTION OF PROPOSAL :	
PROPOSED RECONSTRUCTION OF PROPERTY BEARING C.S.M.D. 207, (60% AREA OF PARKED DRIVEWAY) NO. C-145-4-8-408 (D) WADAJURATED BY AT 12F 5B, SHALANI STREET, MUMBAI-40	
LICENSED SURVEYOR	
	shaikh & associates
Rambhawan House, D. A. R. Near Road, Aghada, Mumbai - 11	
FILE NO.	SCALE
DRAWN BY	CHECKED BY
DATE	DATE
18/09/2020	
1:100	

5TH FLOOR PLAN (PODIUM)

To,
M/s. Irani Architects,
121, Kartar Bhavan,
Colaba Causeway,
Mumbai- 400 005.

Sub : Storm Water Drain Remarks for the proposed redevelopment on C.S.No.207, 1/207 of Tardeo Division, Shuklaji Street, Mumbai in 'D' Ward.

Ref : Your Licensed Plumber M/s. Kshitij Construction's letter under No.- Nil received on 05.07.2011.

....

Gentlemen,

With reference to above, you are requested to carry out the work of Storm Water Drain as per accompanying plan, subject to the following conditions :-

1. The minimum formation / ground level of plot under reference shall be at least 28.04 M. (92.00') THD or 15 cm. (6") above the formation level of proposed footpath, if any, raised footpath / existing access, abutting / proposed road, whichever is higher.
2. The Storm Water Drain suggested in the accompanying plan shall be laid as per Municipal Specifications using R.C.C. pipes, NP2 class (I.S.I. Mark only) duly encased with 15 cm. thick M-15 cement concrete all around alongwith provision of water entrances having minimum size of 450mm. x 450mm. covered with M.S. / C.I. gratings. The built up drain shall be covered with prestressed R.C.C. / C.I. grating for entire length. The velocity of flow shall be maintained at 1.2M. / Sec. (4' / sec.) while the drain is running full.
3. One catch pit chamber shall be provided at point G which shall be 60 cm (2') below the invert of pipes, as shown in the accompanying plan. The internal S. W. Drain arrangement shall be provided as follows :-
 - a) 300 mm.dia R.C.C.pipes (slope 1:150) from points :A-B-C-D-E-F-G-H and K-L-M-N-O-P-G
 - b) 300 mm. wide built up drain shall be in cement concrete of Grade M-20 having minimum thickness of walls of 20 cm. which shall be covered with gratings from points J-G with minimum depth of 300 mm. at starting point @ slope 1:400.
 - c) The down take pipes of 100 mm. dia. from podium level up to ground level shall be provided which shall be connected to the water entrance on ground level within property. The slope to the surface of podium shall be given in such a way that all the storm water from podium will flow towards down take pipes without stagnation.
4. The side / marginal open spaces shall be levelled, consolidated and paved with cement concrete with proper slope in such a way to discharge the storm water into proposed storm water entrances.

[P.T.O.]

NO. LICENSE NO., ETC., SHALL BE INTIMATED TO THIS OFFICE IN ADVANCE BEFORE COMMENCING WORK.

REGARDING STREET CONNECTION :

7. a) You shall make one connection of 300 mm. dia. R.C.C. pipes NP2 class (I.S.I. Mark only) from point G to H duly encased with 15 cm. thick M-15 grade cement concrete all around from last catch pit chamber to Municipal S.W. Manhole at developer's risk and cost. The connection shall be made only after the necessary permission for road opening is obtained from A.E. (Maint) of 'D' Ward
- b) The work of providing S.W. Drain from last catch pit chamber to Municipal S.W. Drain shall be carried out under the supervision and as per suggestions of A.E. (Env.) of 'D' Ward.
- c) In case, if it is not possible to connect internal S.W. Drain to existing manhole on Municipal Storm Water Drain due to site conditions / difficulties or if the existing manhole is far away from the plot, then the internal S.W. Drain shall be connected to Municipal S.W. Drain by constructing additional manhole on Municipal S.W. Drain at developer's cost.

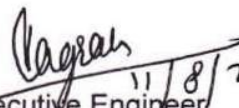
REGARDING COMPLETION CERTIFICATE :

8. You shall approach to this office for Completion Certificate after actual street connection is done along with following papers :-
 - a) Certificate along with Completion plan of S.W. Drains as carried out on site as per Municipal specifications duly signed by you and also by the Licensed Plumber.
 - b) Remarks and sketch from office of the concerned ward about actual street connection from last catch pit chamber to Municipal S.W. Drain.
9. The Completion Certificate shall be obtained on completion of the work of internal Storm Water Drain as per Municipal specifications and as per accompanying plan, from this office.
10. Other Conditions.
 - a) As regards road and footpath work in setback portion, you are requested to obtain remarks from E.E.(Road)City.
 - b) In setback portion, after construction of foot path water entrance should be shifted from point 1-2, 3-4, 5-6 and 7-8 by extending existing lateral by 300 mm. dia. R.C.C. pipe (NP2 class) as per municipal specifications and drawings in consultation with Executive Engineer (Storm Water Drains) Planning Cell and under supervision of A.E.(Environment) 'D' Ward at developer's risk and cost. Please note that if shifting of water entrance will not be possible by extending the existing pipes then you will have to provide new water entrances at suitable place at your cost.

- c) The necessary arrangement shall be provided in basement in accordance with I.S. 12251-1987 (Re-affirmed) for proper collection and disposal of storm water. The arrangement shall also be made to pump out / drain out the water of the basement to the nearest water entrance within the property by providing sump well.
- d) An Indemnity Bond on stamp paper of Rs.200/- shall be submitted to the Ex. Eng. (S.W.D.) Planning Cell indemnifying M.C.G.M. against any losses, damages, etc., if occurred, due to flooding in the basement under reference and stating that the same will be binding on Owner / Developer and their legal heirs / successors or whosoever deriving title through them.
11. These remarks are valid for one year from the date of issue of this letter, within which period Completion Certificate shall be obtained, failing which the remarks will have to be revalidated. The prevailing fees / charges will be charged for each revalidation / revision.
12. These remarks are given from the point of view of disposal of storm water only, without prejudice to the boundaries of the plot shown, ownership of plot, status of existing structures on it, if any, and use of the land under reference.
13. That during the execution work of the proposed building, if any Storm Water Drain, other than shown on accompanying plan, is found existing within the plot, the work of proposed building shall be stopped and the same shall be brought to the notice of this office immediately. No further work shall be commenced unless the remarks regarding the same are obtained from this office.

Acc. : Plan

Yours faithfully,


11/8/2011
Executive Engineer
(Storm Water Drains) Planning Cell.

Environmental Consultancy & Laboratory

Lab. Gazetted by MoEF&CC-Govt. of India
 Lab. Accredited by NABL - ISO/IEC 17025:2017 [TC-5600, Valid until 03.08.2024 in the field of Testing]
 QCI-NABET Accredited EIA Consulting Organization
 STP/ETP/WTP Project Management Consultants

ISO 9001 : 2015
 ISO 45001 : 2018

Lab : Survey No. 93/A, Conformity Hissa No.2 G.V.Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
 Tele : +91 22 2547 49 07 / +91 22 2547 62 17 Email : lab@ultratech.in Visit us at : www.ultratech.in

TEST REPORT

ISSUED TO: M/s. HILTON INFRASTRUCTURE.

For Your Site: 'Proposed Redevelopment Project' "FUEGO"

At CTS No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039
 (D Ward), Situated at 122-138, Shuklaji Street, Mumbai - 8.

REPORT NO. : UT/ELS/REPORT/C-133/01-2023
ISSUE DATE : 12/01/2023
YOUR REF. : HI/FUEGO/ULTRA TECH/22-23/011
REF. DATE : 07/07/2022

SAMPLE PARTICULARS

Sampling Plan Ref. No.: : C-23/12-2022
Sampling Procedure : UT/LQMS/SOP/AA01A
Sample Registration Date : 26/12/2022
Date of Sampling : 23/12/2022
Time of Sampling : 09:30 Hrs. to 17:30 Hrs.
Analysis Starting Date : 26/12/2022
Analysis Completion Date : 28/12/2022
Sample Lab Code : UT/ELS/C-107/12-2022
Ambient Air Temperature : 25.5°C to 31.4°C

AMBIENT AIR QUALITY MONITORING

Location Code : 01
Sample Location : Project North Boundary
 (03 Meter off towards South Direction)
 Co-ordinates: N18°57'47.30"; E72°49'27.52"
Collected By : ULTRA-TECH
Height of Sampler : 1.0 Meter
Sampling Duration : 08 Hours
Relative Humidity : 52.0 % to 63.0 %

Sr. No.	Test Parameter	Test Method	Test Result	Unit
1.	Sulphur Dioxide (SO ₂)	IS 5182 (Part 02) : 2001	13	µg/m ³
2.	Oxides of Nitrogen (NO _x)	IS 5182 (Part 06) : 2006	23	µg/m ³
3.	Particulate Matter (PM ₁₀)	EPA/625/R-96/010a Method 10-2.1	76	µg/m ³
4.	Particulate Matter (PM _{2.5})	IS 5182 (Part 24) : 2019	26	µg/m ³
5.	Carbon Monoxide (CO) †	IS 5182 (Part 10): 1999	1.3	mg/m ³

†: Sampling Period 1 Hr.

Remark/ Statement of Conformity: *The parameters tested above are found to be within 24 hourly TWA of National Ambient Air Quality Monitoring Standard (NAAQMS), Part III- Section IV. NAAQMS is provided as Annexure-I for your reference. (Turnover to find Annexure)*

Sampling Equipment Details	Instrument Used	Make & Model	Calibration Status
	Respirable Dust Sampler	Make - Polltech; Model - PEM-RDS 8NL; Sr. No. 3313	Valid up to - 03/10/2023
	Fine Dust Sampler	Make - Polltech; Model - PEM ADS 2.5/10µ; Sr. No. 18213	Valid up to - 05/01/2023


Note:

1. Samples were collected by following laboratory's SOP (UT/LQMS/SOP/AA01A) based on CPCB Guidelines - National Ambient Air Quality Monitoring Series: NAAQMS/2003-04 and respective test methods.
2. This test report refers only to the sample tested.
3. Monitoring area coming under Residential areas and observed values are relevant to sample collected only.
4. This test report may not be reproduced in part, without the permission of this laboratory.
5. Any correction invalidates this test report.
6. Weather was Sunny during sampling period.

- END OF REPORT -



For ULTRA-TECH,


Meghan Patil
 (Authorized Signatory)

Page 1 of 1

H.O.: Unit No. 224,225,206, Jai Commercial Complex, Eastern Express Highway, Opp. Cadbury Factory, Khopat, Thane (W) 400 601, Maharashtra, India.

Tel : +91-22+2538 01 98 / 2545 03 72 / 2544 62 51 Email : sales@ultratech.in

Pune : +91-20-29525517 - pune@ultratech.in Kochi : +91-048-44011173 / +91-9895200526 - kochi@ultratech.in

Kolkata: +033-40089145 / +91-9674488198 - kolkata@ultratech.in

ANNEXURE-I**NATIONAL AMBIENT AIR QUALITY STANDARDS, PART III-SECTION IV****The Gazette of India with Effect from Wednesday, November 18, 2009/KARTIKA 27, 1931**

Sr. No.	Pollutants	Time Weighted Average	National Ambient Air Quality Standards	
			Industrial, Residential, Rural and Other Area	Ecological Sensitive Area (Notified by Central Government)
01.	Sulphur Dioxide (SO ₂), µg/m ³	Annual*	50	20
		24 Hours**	80	80
02.	Oxides of Nitrogen (NO _x), µg/m ³	Annual*	40	30
		24 Hours**	80	80
03.	Particulate Matter (PM ₁₀), µg/m ³	Annual*	60	60
		24 Hours**	100	100
04.	Particulate Matter (PM _{2.5}), µg/m ³	Annual*	40	40
		24 Hours**	60	60
05.	Carbon Monoxide (CO), mg/m ³	08 Hours*	02	02
		01 Hours**	04	04

* Annual arithmetic mean of minimum 104 measurements in a year at a particular site taken twice a week 24 hourly at uniform intervals.

** 24 hourly or 8 hourly or 1 hourly monitored values, as applicable, shall be complied with 98% of the time in a year. 2% of the time, they may exceed the limits but not on two consecutive days of monitoring.

NOTE: Whenever and wherever monitoring results on two consecutive days of monitoring exceed the limits specified above for the respective category, it shall be considered adequate reason to institute regular or continuous monitoring and further

Environmental Consultancy & Laboratory

Lab. Gazetted by MoEF&CC-Govt. of India
 Lab. Accredited by NABL - ISO/IEC 17025:2017 [TC-5600, Valid until 03.08.2024 in the field of Testing]
 QCI-NABET Accredited EIA Consulting Organization
 STP/ETP/WTP Project Management Consultants

ISO 9001 : 2015
 ISO 45001 : 2018

Lab :Survey No. 93/A, Conformity Hissa No.2 G.V.Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
 Tele : +91 22 2547 49 07 / +91 22 2547 62 17 Email : lab@ultratech.in Visit us at : www.ultratech.in

TEST REPORT

ISSUED TO: M/s. HILTON INFRASTRUCTURE.

For Your Site: 'Proposed Redevelopment Project' "FUEGO"

At CTS No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039
 (D Ward), Situated at 122-138, Shuklaji Street, Mumbai - 8.

REPORT NO. : UT/ELS/REPORT/C-134/01-2023
ISSUE DATE : 12/01/2023
YOUR REF. : HI/FUEGO/ULTRA TECH/22-23/011
REF. DATE : 07/07/2022

SAMPLE PARTICULARS

Sampling Plan Ref. No.: : C-23/12-2022
Sampling Procedure : UT/LQMS/SOP/AA01A
Sample Registration Date : 26/12/2022
Date of Sampling : 23/12/2022 to 24/12/2022
Time of Sampling : 18:00 Hrs. to 02:00 Hrs.
Analysis Starting Date : 26/12/2022
Analysis Completion Date : 28/12/2022
Sample Lab Code : UT/ELS/C-108/12-2022
Ambient Air Temperature : 24.7°C to 30.8°C

AMBIENT AIR QUALITY MONITORING

Location Code : 02
Sample Location : Project West Boundary
 (04 Meter off towards East Direction)
 Coordinates: N18°57'46.92"; E72°49'25.92"
Collected By : ULTRA-TECH
Height of Sampler : 1.0 Meter
Sampling Duration : 08 Hours
Relative Humidity : 53.0 % to 62.0 %

Sr. No.	Test Parameter	Test Method	Test Result	Unit
1.	Sulphur Dioxide (SO ₂)	IS 5182 (Part 02) : 2001	11	µg/m ³
2.	Oxides of Nitrogen (NO _x)	IS 5182 (Part 06) : 2006	21	µg/m ³
3.	Particulate Matter (PM ₁₀)	EPA/625/R-96/010a Method IO-2.1	74	µg/m ³
4.	Particulate Matter (PM _{2.5})	IS 5182 (Part 24) : 2019	24	µg/m ³
5.	Carbon Monoxide (CO) †	IS 5182 (Part 10): 1999	1.1	mg/m ³

†: Sampling Period 1 Hr.

Opinions / Interpretations: The parameters tested above are found to be within 24 hourly TWA of National Ambient Air Quality Monitoring Standard (NAAQMS), Part III- Section IV. NAAQMS is provided as Annexure-I for your reference. (Turnover to find Annexure)

Sampling Equipment Details	Instrument Used	Make & Model	Calibration Status
	Respirable Dust Sampler	Make - Polltech; Model - PEM-RDS 8NL; Sr. No .3313	Valid up to - 03/10/2023
Fine Dust Sampler	Make - Polltech; Model - PEM ADS 2.5/10µ; Sr. No. 18213	Valid up to - 05/01/2023	

- Note:**
1. Samples were collected by following laboratory's SOP (UT/LQMS/SOP/AA01A) based on CPCB Guidelines - National Ambient Air Quality Monitoring Series: NAAQMS/2003-04 and respective test methods.
 2. This test report refers only to the sample tested.
 3. Monitoring area coming under Residential areas and observed values are relevant to sample collected only.
 4. This test report may not be reproduced in part, without the permission of this laboratory.
 5. Any correction invalidates this test report.
 6. Weather was clear during sampling period.

- END OF REPORT -



For ULTRA-TECH,

Meghan Patil
 (Authorized Signatory)

ANNEXURE-I**NATIONAL AMBIENT AIR QUALITY STANDARDS, PART III-SECTION IV**
The Gazette of India with Effect from Wednesday, November 18, 2009/KARTIKA 27, 1931

Sr. No.	Pollutants	Time Weighted Average	National Ambient Air Quality Standards	
			Industrial, Residential, Rural and Other Area	Ecological Sensitive Area (Notified by Central Government)
01.	Sulphur Dioxide (SO ₂), µg/m ³	Annual*	50	20
		24 Hours**	80	30
02.	Oxides of Nitrogen (NO _x), µg/m ³	Annual*	40	30
		24 Hours**	80	30
03.	Particulate Matter (PM ₁₀), µg/m ³	Annual*	60	60
		24 Hours**	100	100
04.	Particulate Matter (PM _{2.5}), µg/m ³	Annual*	40	40
		24 Hours**	60	60
05.	Carbon Monoxide (CO), mg/m ³	08 Hours*	02	02
		01 Hours**	04	04

* Annual arithmetic mean of minimum 104 measurements in a year at a particular site taken twice a week 24 hourly at uniform intervals.

** 24 hourly or 8 hourly or 1 hourly monitored values, as applicable, shall be complied with 98% of the time in a year. 2% of the time, they may exceed the limits but not on two consecutive days of monitoring.

NOTE: Whenever and wherever monitoring results on two consecutive days of monitoring exceed the limits specified above for the respective category, it shall be considered adequate reason to institute regular or continuous monitoring and further

Environmental Consultancy & Laboratory

Lab. Gazetted by MoEF&CC-Govt. of India
 Lab. Accredited by NABL - ISO/IEC 17025:2017 [TC-5600, Valid until 03.08.2024 in the field of Testing]
 QCI-NABET Accredited EIA Consulting Organization
 STP/ETP/WTP Project Management Consultants

ISO 9001 : 2015
 ISO 45001 : 2018

Lab :Survey No. 93/A, Conformity Hissa No.2 G.V.Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
 Tele : +91 22 2547 49 07 / +91 22 2547 62 17 Email : lab@ultratech.in Visit us at : www.ultratech.in

TEST REPORT

ISSUED TO: M/s. HILTON INFRASTRUCTURE.

For Your Site: 'Proposed Redevelopment Project' "FUEGO"
 At CTS No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039
 (D Ward), Situated at 122-138, Shuklaji Street, Mumbai - 8.

REPORT NO. : UT/ELS/REPORT/C-135/01-2023
ISSUE DATE : 12/01/2023
YOUR REF. : HI/FUEGO/ULTRA TECH/22-23/011
REF. DATE : 07/07/2022

SAMPLE PARTICULARS

Sampling Plan Ref. No.: : C-23/12-2022
Sampling Procedure : UT/LQMS/SOP/AA01A
Sample Registration Date : 26/12/2022
Date of Sampling : 24/12/2022
Time of Sampling : 02:30 Hrs. to 10:30 Hrs.
Analysis Starting Date : 26/12/2022
Analysis Completion Date : 28/12/2022
Sample Lab Code : UT/ELS/C-109/12-2022
Ambient Air Temperature : 24.9°C to 30.1°C

AMBIENT AIR QUALITY MONITORING

Location Code : 03
Sample Location : Project South Boundary
 (03 Meter off towards North Direction)
 Co-ordinates: N18°57'48.86"; E72°49'27.33"
Collected By : ULTRA-TECH
Height of Sampler : 1.0 Meter
Sampling Duration : 08 Hours
Relative Humidity : 51.0% to 62.0 %

Sr. No.	Test Parameter	Test Method	Test Result	Unit
1.	Sulphur Dioxide (SO ₂)	IS 5182 (Part 02) : 2001	15	µg/m ³
2.	Oxides of Nitrogen (NO _x)	IS 5182 (Part 06) : 2006	25	µg/m ³
3.	Particulate Matter (PM ₁₀)	EPA/625/R-96/010a Method IO-2.1	79	µg/m ³
4.	Particulate Matter (PM _{2.5})	IS 5182 (Part 24) : 2019	29	µg/m ³
5.	Carbon Monoxide (CO) †	IS 5182 (Part 10): 1999	1.5	mg/m ³

†: Sampling Period 1 Hr.

Opinions / Interpretations: The parameters tested above are found to be within 24 hourly TWA of National Ambient Air Quality Monitoring Standard (NAAQMS), Part III- Section IV. NAAQMS is provided as Annexure-I for your reference. (Turnover to find Annexure)


Sampling Equipment Details	Instrument Used	Make & Model	Calibration Status
	Respirable Dust Sampler	Make - Polltech; Model - PEM-RDS 8NL; Sr. No. 3313	Valid up to - 03/10/2023
Fine Dust Sampler	Make - Polltech; Model - PEM ADS 2.5/10µ; Sr. No. 18213	Valid up to - 05/01/2023	

- Note:**
1. Samples were collected by following laboratory's SOP (UT/LQMS/SOP/AA01A) based on CPCB Guidelines - National Ambient Air Quality Monitoring Series: NAAQMS/2003-04 and respective test methods.
 2. This test report refers only to the sample tested.
 3. Monitoring area coming under Residential areas and observed values are relevant to sample collected only.
 4. This test report may not be reproduced in part, without the permission of this laboratory.
 5. Any correction invalidates this test report.
 6. Weather was Sunny & Clear during sampling period.

- END OF REPORT -



For ULTRA-TECH,



Meghan Patil
 (Authorized Signatory)

ANNEXURE-I**NATIONAL AMBIENT AIR QUALITY STANDARDS, PART III-SECTION IV****The Gazette of India with Effect from Wednesday, November 18, 2009/KARTIKA 27, 1931**

Sr. No.	Pollutants	Time Weighted Average	National Ambient Air Quality Standards	
			Industrial, Residential, Rural and Other Area	Ecological Sensitive Area (Notified by Central Government)
01.	Sulphur Dioxide (SO ₂), µg/m ³	Annual*	50	20
		24 Hours**	80	80
02.	Oxides of Nitrogen (NO _x), µg/m ³	Annual*	40	30
		24 Hours**	80	80
03.	Particulate Matter (PM ₁₀), µg/m ³	Annual*	60	60
		24 Hours**	100	100
04.	Particulate Matter (PM _{2.5}), µg/m ³	Annual*	40	40
		24 Hours**	60	60
05.	Carbon Monoxide (CO), mg/m ³	08 Hours*	02	02
		01 Hours**	04	04

* Annual arithmetic mean of minimum 104 measurements in a year at a particular site taken twice a week 24 hourly at uniform intervals.

** 24 hourly or 8 hourly or 1 hourly monitored values, as applicable, shall be complied with 98% of the time in a year. 2% of the time, they may exceed the limits but not on two consecutive days of monitoring.

NOTE: Whenever and wherever monitoring results on two consecutive days of monitoring exceed the limits specified above for the respective category, it shall be considered adequate reason to institute regular or continuous monitoring and further

Environmental Consultancy & Laboratory

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STP/ETP/WTP Project Management Consultants

ISO 9001 : 2015
ISO 45001 : 2018Lab : Survey No. 93/A, Conformity Hissa No.2 G.V.Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
Tele : +91 22 2547 49 07 / +91 22 2547 62 17 Email : lab@ultratech.in Visit us at : www.ultratech.in**TEST REPORT****ISSUED TO: M/s. HILTON INFRASTRUCTURE.**For Your Site: **'Proposed Redevelopment Project' "FUEGO"**At CTS No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039
(D Ward), Situated at 122-138, Shuklaji Street, Mumbai - 8.**REPORT NO.** : UT/ELS/REPORT/C-136/01-2023**ISSUE DATE** : 12/01/2023**YOUR REF.** : HI/FUEGO/ULTRA TECH/22-23/011**REF. DATE** : 07/07/2022**SAMPLE PARTICULARS :****Sampling Plan Ref. No.** : C-23/12-2022**Date of Monitoring** : 23/12/2022**NOISE LEVEL QUALITY MONITORING****Sample Lab Code** : UT/ELS/C-110/12-2022**Survey Done By** : ULTRA-TECH


Sr. No.	Location	Noise Level Reading in dB(A)			
		Time (Hrs)	Day dB(A)	Time (Hrs)	Night dB(A)
01.	Project North Boundary	10:00 to 10:05	54.1	22:00 to 22:05	44.1
02.	Project West Boundary	10:10 to 10:15	53.9	22:10 to 22:15	43.5
03.	Project South Boundary	10:20 to 10:25	52.8	22:20 to 22:25	43.2

Opinions / Interpretations: *The Noise Pollution (Regulation And Control) Rules, 2000: Is Provided as Annexure II for Your Reference.
(Turnover to find Annexure).***Note:** 1. Monitoring area coming under Residential Area.
2. Noise level monitored is an average for period as stated above, the permissible sound pressure level is to be determined with respect to the total time a workman is being exposed (continuously or a number of short term exposures per day) in Hrs.

Sampling Equipment Details	Instrument Used	Make & Model	Calibration Status
	Sound Level Meter	Make - Casella; Model - CEL-633C; Sr. no. 2382959	Valid up to - 11/12/2023

Note: 1. This test report refers only to the monitoring conducted.
2. This test report may not be reproduced in part, without the permission of this laboratory.
3. Any correction invalidates this test report.**- END OF REPORT -**

For ULTRA-TECH,


Meghan Patil
(Authorized Signatory)

ANNEXURE-II**THE NOISE POLLUTION (REGULATION AND CONTROL) RULES, 2000**

(The Principal Rules were published in the Gazette of India, vide S.O. 123(E), dated 14.2.2000 and subsequently amended vide S.O. 1046(E), dated 22.11.2000, S.O. 1088(E), dated 11.10.2002, S.O. 1569 (E), dated 19.09.2006 and S.O. 50 (E) dated 11.01.2010 under the Environment (Protection) Act, 1986.)

• SCHEDULE

(See rule 3(1) and 4(1))

Ambient Air Quality Standards in respect of Noise

Area Code	Category of Area / Zone	Limits in dB(A) Leq	
		Day Time	Night Time
A	Industrial Area	75	70
B	Commercial Area	65	55
C	Residential Area	55	45
D	Silence Zone	50	40

- Note:
1. Day time shall mean from 6.00 a.m. to 10.00 p.m.
 2. Night time shall mean from 10.00 p.m. to 6.00 a.m.
 3. Silence zone is an area comprising not less than 100 meters around hospitals, educational institutions, courts, religious places or any other area which is declared as such by the competent authority.
 4. Mixed categories of areas may be declared as one of the four above mentioned categories by the competent authority.

* dB(A) Leq denotes the time weighted average of the level of sound in decibels on scale A which is relatable to human hearing.

A "decibel" is a unit in which noise is measured.

"A", in dB(A) Leq, denotes the frequency weighting in the measurement of noise and corresponds to frequency response characteristics of the human ear.

Leq: It is energy mean of the noise level over a specified period.

• CONSTRUCTION ACTIVITIES

The maximum noise levels near the construction site should be limited to 75 dB(A) Leq(5 min.) in industrial areas and to 65 dB(A) Leq(5 min.) in other areas.

• THE PERMISSIBLE LEVELS FOR NOISE EXPOSURE FOR WORK ZONE

(The Model Rules Of The Factories Act, 1948)

Peak sound pressure level in dB	Permitted number of impulses or impact/day
140	100
135	315
130	1000
125	3160
120	10000

- Notes:
1. No exposure in excess of 140 dB peak sound pressure level is permitted.
 2. For any peak sound pressure level falling in between any figure and the next higher or lower figure as indicated in column 1, the permitted number of impulses or impacts per day is to be determined by extrapolation on a proportionate basis.

Total time exposure (continuous or a number of short term exposures per day) in Hrs	Sound Pressure Level in dB(A)
8	90
4	93
2	96
1	99
1/2	102
1/8	108
1/16	111
1/32 (2 minutes) or less	114

- Notes:
1. No exposure in excess of 115 dB(A) is to be permitted.
 2. For any period of exposure falling in between any figure and the next higher or lower figure as indicated in column 1, the permissible sound pressure level is to be determined by extrapolation on a proportionate basis.

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 Lab. Accredited by NABL - ISO/IEC 17025:2017 [TC-5600, Valid until 03.08.2024 in the field of Testing]
 QCI-NABET Accredited EIA Consulting Organization
 STP/ETP/WTP Project Management Consultants

ISO 9001 : 2015
 ISO 45001 : 2018

Lab : Survey No. 93/A, Conformity Hissa No.2 G.V.Brothers Bldg., Bata Compound, Khopat, Near Flower Valley, Thane (West) - 400 601, Maharashtra, India.
 Tele : +91 22 2547 49 07 / +91 22 2547 62 17 Email : lab@ultratech.in Visit us at : www.ultratech.in

TEST REPORT

ISSUED TO: M/s. HILTON INFRASTRUCTURE.

For Your Site: 'Proposed Redevelopment Project' "FUEGO"
 At CTS No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039
 (D Ward), Situated at 122-138, Shuklaji Street, Mumbai - 8.

REPORT NO. : UT/ELS/REPORT/C-137/01-2023
ISSUE DATE : 12/01/2023
YOUR REF. : HI/FUEGO/ULTRA TECH/22-23/011
REF. DATE : 07/07/2022

SAMPLE PARTICULARS :

Sampling Plan Ref. No. : C-23/12-2022
Sampling Procedure : UT/LQMS/SOP/S01A
Sample Registration Date : 26/12/2022
Date & Time of Sampling : 23/12/2022 at 17:00Hrs.
Analysis Starting Date : 26/12/2022
Analysis Completion Date : 02/01/2023
Sample Collected By : ULTRA TECH
Sample Lab Code : UT/ELS/C-111/12-2022

SOIL QUALITY MONITORING

Sample Type : Surface Soil (at 15cm depth)
Sample Location : Near West Boundary
Sample Quantity & Packing Details : 1kg In Plastic Bag Contained in Zip Lock Bag

Sr. No.	Test Parameter	Test Methods	Test Result	Unit
1.	Moisture Content	IS:2720 (Part 2) : 1973	4.6	%
2.	Bulk Density	UT/LQMS/SOP/S03	1129	kg/m ³
3.	Organic Matter	IS:2720 (Part 22) : 1972	0.9	%
4.	Total Organic Carbon	IS:2720 (Part 22) : 1972	0.5	%
5.	pH [1:2.5 Soil:Water Extract]	IS:2720 (Part 26) : 1987	7.9	-
6.	Conductivity(1:2soil:Water Extract)	IS:14767- 2000	0.825	mS/cm
7.	Sodium as Na (Water Extractable)	UT/LQMS/SOP/S19	116	mg/kg
8.	Magnesium as Mg (Water Extractable)	UT/LQMS/SOP/S22	108	mg/kg
9.	Chlorides as Cl ⁻ (Water Extractable)	UT/LQMS/SOP/S23	146	mg/kg
10.	Sulphate as SO ₄ ²⁻ (Water Extractable)	UT/LQMS/SOP/S24	163	mg/kg
11.	Sodium Adsorption Ratio	UT/LQMS/SOP/S26	1.1	(meq/kg) ^{1/2}
12.	Cation Exchange Capacity	UT/LQMS/SOP/S18	25.1	meq/100g
13.	Water Holding Capacity	UT/LQMS/SOP/S12	53.9	%
14.	Available Boron as B (Available)	UT/LQMS/SOP/S27	0.9	mg/kg
15.	Phosphorous as P ₂ O ₅ (Available)	UT/LQMS/SOP/S28	91	kg/ha
16.	Potassium as K ₂ O (Available)	UT/LQMS/SOP/S29	231	kg/ha
17.	Nitrogen as N (Available)	UT/LQMS/SOP/S30	160	Kg/ha
18.	Iron as Fe	UT/LQMS/SOP/S35&S37	83621	mg/kg
19.	Zinc as Zn	UT/LQMS/SOP/S35&S37	91	mg/kg

Remark/ Statement of Conformity: NIL

Note:
 1. Samples were collected by following laboratory's SOP (UT/LQMS/SOP/S01A) based on Methods Manual: Soil Testing in India by DA&FW, MoA, GOI.
 2. This test report refers only to the sample tested.
 3. This test report may not be reproduced in part, without the permission of this laboratory.
 4. Any correction invalidates this test report.

- END OF REPORT -



For ULTRA TECH

Meghan Patil

(Authorized Signatory)

THE ASIAN AGE

FRIDAY | 22 JANUARY 2016 | MUMBAI

Beedi baron to spend 38 years in jail

AGE CORRESPONDENT
THRISSUR (KERALA), JAN. 21

Business tycoon Mohammed Nisham, 40, will have to spend at least 38 years behind bars for the murder of watchman Chandrabose of Sobha City here early last year.

District additional sessions court judge K.P. Sudhir on Thursday sentenced him to life imprisonment for murder and 24 years of rigorous imprisonment for allied crimes and imposed a fine of Rs 70.3 lakh. Out of this, ₹50 lakh will go to the wife of the Chandrabose as compensation. The convict was awarded life imprisonment for murder and a fine of ₹70 lakh under Section 302, IPC, and rigorous imprisonment for 10 years and a fine of ₹1 lakh under Section 326 (voluntarily causing grievous hurt by dangerous weapons or means). Further rigorous imprisonment is for five years under Section 449 for trespass to commit the offence along with a fine of ₹10,000. Nisham will also have to pay a fine of ₹20,000 and spend two years in prison for destruction of property (Section 427).

The trial court also awarded him rigorous imprisonment (one year) for voluntary assault (Section 323), assault using weapon (three years, Section 324) and for criminal intimidation (three years, Section 506).



Madabad on

— AP

dies

... simple, eloquent and visually appealing, she said.

... the renowned Nisham family of Madabad began raining in Madabad at an... from her guru... Sundaram... later learnt...

... schooling in... she went to... France and... She returned to become a... Rabindranath... university in... — PTI

Journalist assaulted by riot convict

SOUVIK MITRA
NEW DELHI

PUBLIC NOTICE

This is to inform that the project known as "Aqua" at CTS No. 990 situated at 243-G, Pathe Bapurao Marg (Falkland Road) at Girgaon Div. D ward, Mumbai - 400 008 of M/s. Rubberwala Housing & Infrastructure Ltd., Rubberwala House, Dr. A.R.Nair Road, Agripada, Mumbai - 11, has been accorded Environmental Clearance from the Ministry of Environment and Forests. Copies of the clearance letter are available with the Maharashtra Pollution Control Board and may also be seen on the website of the Ministry of Environment and Forests at <http://ec.maharashtra.gov.in>

Sd/-

M/s. Rubberwala Housing & Infrastructure Ltd.,
Rubberwala House,
Dr. A.R.Nair Road,
Agripada, Mumbai - 11.

PUBLIC NOTICE

This is to inform that the project known as "Fuego" at CTS No. 207, 1/207 & 208 of Tardeo Div. D ward, Shuklaji street, Mumbai - 400 008 of M/s. Hilton Infrastructure, Rubberwala House, Dr. A. R. Nair Road, Agripada, Mumbai - 11, has been accorded Environmental Clearance from the Ministry of Environment and Forests. Copies of the clearance letter are available with the Maharashtra Pollution Control Board and may also be seen on the website of the Ministry of Environment and Forests at <http://ec.maharashtra.gov.in>

Sd/-

M/s. Hilton Infrastructure,
Rubberwala House,
Dr. A. R. Nair Road,
Agripada, Mumbai - 11.

WESTERN RAILWAY

RELOCATION OF 2.2 KV CABLE

Tender No. EL/TR/C/2016/02.
Name of Work: Re-location of 2.2 KV Cable of Mumbai Central to Borivali in connection with proposed 6th line, Mumbai Division, Western Railway.
Approx. Cost of Work: ₹ 36,90,348/-
EMD: ₹ 73,810/- Date & Time for Submission of Tender: 24/02/2016 (15.00 hrs.) Date & Time for Opening of Tender: 24/02/2016 (15.30 hrs.).
Tender forms can also be downloaded from Western Railway's Website www.wr.indianrailways.gov.in Notice Board Location - Dy. Chief Electrical Engineer (Construction), Traction Power House Building, 2nd Floor, 'D' Road, Churchgate, Mumbai-400 020.

Follow us on: twitter.com/WesternRly

Arihant Multi Commercial Limited

(Formerly - Lifeline Drugs & Pharma Limited)
CIN : L51909MH1982PLC028972
Regd. Office : F/3, Shah Arcade, Wing-C, Wadani Pada Layout Rani Sati Marg, Near W. E. Highway, Malad (E), Mumbai-400 097

NOTICE

Pursuant to Regulation 47 of SEBI LOD Regulations, 2015, NOTICE is hereby given that the meeting of Board of Directors of the Company will be held on Thursday, 11th day of February 2016 to consider, approve and to take on record, inter-alia, the Un-audited Financial Results for 3rd Quarter ended on 31st December 2015.

This intimation is also available on the website of the Company www.arhantmulticom.com and on the website of BSE where the shares of the Company are listed viz. www.bseindia.com

By Order of the Board

For Arihant Multi Commercial Limited
Deepak S. Bansal (DIN : 03578201)

Place : Mumbai Managing Director
Date : 22nd January 2016

Voltaire Leasing & Finance Limited

CIN : L70101MH1984PLC033920
Regd. Office : F-2, 1st Floor, Shah Arcade 1, C- Wing, Rani Sati Road, Malad (E), Mumbai-400 097

NOTICE

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NOTICE

Take Notice that Shri Anil Jayram Kharade who is a owner of Plot No. 124, Sector 16 A, Nerul, Navi Mumbai 400 706 has lost/misplaced original documents of the said plot. (Consisting of sale deed, registration stamp duty and other original papers) and apply for the duplicate original documents.

Any person having any claim against the above original documents of the said plot write with proper

MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 4010437/4020781
/4037124/4035273
Fax : 24044532/4024068 /4023516
Email : enquiry@mpcb.gov.in
Visit At : <http://mpcb.gov.in>



Kalpataru Point, 3rd & 4th floor, Sion- Matunga
Scheme Road No. 8, Opp. Cine Planet Cinema, Near
Sion Circle, Sion (E),
Mumbai - 400022

Infrastructure /Orange/LSI

Consent order No: Format1.0/BO/RO-HQ/EIC-Mu-5853-14/CE/CC-7664 Date-19/08/2014

To,

M/s.Hilton Infrastructure
CTS No.207,1/207 & 208 of Tardeo Div.,
Ward No.D.4042-46 &4039(D Ward),
Situated at 122-138,
Shuklaji Street,Mumbai-400 008.

Subject: Consent to Establish for Building/Construction project Orange category.

Ref : Minutes of Consent Committee meeting held on 30th July 2014.

Your application CE1404000267

Dated: 20th March, 2014.

For: Consent to Establish for Building/Construction project under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 5 of the Hazardous Wastes (M, H & T M) Rules 2008 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. The consent is granted for a period up to commissioning of the project of 5 years whichever is earlier.
2. The proposed capital investment of the project is Rs. 146.32 Cr. (As per CA Certificate submitted by project proponent)

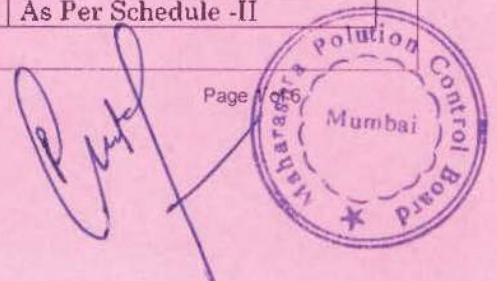
The Consent to Establish is valid for construction of residential project named as M/s.Hilton Infrastructure., CTS No.207,1/207 & 208 of Tardeo Division, Ward No.D.4042-46 &4039(D Ward), Situated at 122-138,Shuklaji Street, Mumbai-400 008 for total plot area of 4,245.86 Sq. Mtrs and total construction built up area 34,196.36 Sq. Mtrs including utilities and services as per Construction commencement certificate issued by local body.

3. Conditions under Water (P&CP), 1974 Act for discharge of effluent:

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	0.00	NA	
2.	Domestic effluent	121	As per Schedule -I	60% shall be reused & recycled and remaining shall be discharged in municipal sewer

4. Conditions under Air (P & CP) Act, 1981 for air emissions:

Sr. No	Description of stack/ source	Capacity	Number Of Stack	Standards to be achieved
1	DG Set	400 KVA	1	As Per Schedule -II
2	DG Set	1000 KVA	1	As Per Schedule -II



5. Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000:

Sr. no.	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	Biodegradable	303 Kg/Day	Will be treated in Organic Waste Converter	Used as Manure
2	STP Sludge	18 Kg/Day	--	Used as Manure
3	Non-Biodegradable	143 Kg/Day	Will be Segregate and Hand over to authorize party.	--

6. Conditions under Hazardous Waste (MH & TM) Rules, 2008 for treatment and Disposal of hazardous waste; NIL.

- The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
- Applicant shall submit an affidavit in Board's prescribed format regarding the Compliance of conditions stipulated in Environmental Clearance /CRZ clearance and Consent to Establish.
- The applicant shall not take any effective steps for Implementation of Project before obtaining Environmental Clearance as per EIA Notification, 2006 and amendment thereto.

As per Para 2 of EIA Notification dated 14/9/2006, the effective steps include starting of any construction work or preparation of land by the project management. However as clarified by the MoEF vide office memorandum No. J-1103/41/2006-IA.II(I); Dated-19/8/2010, fencing of the site to protect it from getting encroached & construction of temporary shed(s) for the guard(s) & acquisition of land shall not be treated as effective steps.

For and on behalf of the
Maharashtra Pollution Control Board



(Rajeev Kumar Mital, IAS)
Member Secretary

Received Consent fee of -

Sr. No.	Amount(Rs.)	DD. No.	Date	Drawn On
1	Rs. 2,92,740/-	070699	13/3/2014	Union Bank of India

Copy to:

- Regional Officer, MPCB, Mumbai and Sub-Regional Officer MPCB, Mumbai-I.
-- They are directed to ensure the compliance of the consent conditions.
- Chief Accounts Officer, MPCB, Mumbai.
- CC/CAC desk- for record & website updation purposes.

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

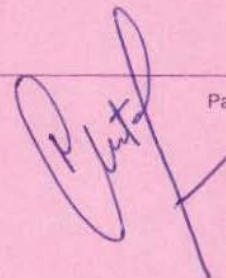
- 1) A] As per your application, you have proposed to install Sewage Treatment Plant (STP) with the design capacity of 150 CMD.
- B] The Applicant shall operate the effluent treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for Ph
01	BOD (3 days 27oC)	100
02	Suspended Solids	100
03	COD	250
04	Residual Chlorine	1ppm

- C) The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, firefighting, on land for gardening etc and remaining shall be discharged in to the municipal sewerage system.
- D] Project proponent shall operate STP for five years from the date of obtaining occupation certificate.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) In case, the water consumption of the project is not covered under the water consumption of local body, in that situation, the project proponent shall submit the CESS Returns in the prescribed format given under the provision of Water (Prevention & Control of Pollution) Cess Act, 1977 and Rules made there under for various category of water consumption.

In case the water consumption is duly assessed under the quantity of water consumption of local body, the project proponent shall submit certificate to that effect from the concern local body with the request not to assess CESS on their water consumption, being already assessed on the water consumption of local body.

Sr. no.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Domestic purpose	143




Schedule-IITerms & conditions for compliance of Air Pollution Control:

1. As per your application, you have proposed to install the Air pollution control (APC) system and also proposed to erect following stack (s) and to observe the following fuel pattern-

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type Of Fuel	Quantity	UOM	S%	SO ₂
1	DG Set (400 KVA)	Acoustic enclosure	5.5	LDO	66	Ltr/Hr	--	--
2.	DG Set (1000 KVA)	Acoustic enclosure	5.5	LDO	164	Ltr/Hr	--	--

* Above roof of the building in which it is installed.

2. The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Particulate matter	Not to exceed	150 mg/Nm ³ .
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3. The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.

The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

4. Conditions during construction phase

A	During construction phase, applicant shall provide temporary sewage disposal and MSW facility for staff and worker quarters.
B	During construction phase, the ambient air and noise quality should be closely monitored to achieve Ambient Air Quality Standards and Noise by the project proponent through MoEF approved laboratory.
C	Noise generating activity shall be carried out during day time only.



Schedule-III
Details of Bank Guarantees

Sr. No.	Consent (C to E/O/R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Establish	Rs. 5 lakh	15 Days	Towards compliance of consent conditions	Upto Commissioning of the project	Five years
2		Rs. 10 lakh	15 Days	Towards submission of an affidavit within 15 days in the prescribed format towards not taking further effective steps prior to obtaining the EC	Upto Commissioning of the project	Five years
3		Rs. 2 lakh	15 Days	Submission of Board Resolution from company Board, towards starting of construction work without obtaining consent to establish from the MPC Board, thus violated the provisions of Environmental Laws and in future, they will not do such violations.	1 Month	4 month from date of issue of consent



Schedule-IVGeneral Conditions:

The following general conditions shall apply as per the type of the industry.

- 1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act, 1981 and environmental protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000 and E-Waste (Management & Handling) Rule 2011.
- 3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5) Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) The industry shall take adequate measures for control of noise levels from its own sources within the premises in respect of noise to less than 55 dB(A) during day time and 45 dB(A) during the night time. Day time is reckoned between 6 a.m. to 10 p.m and night time is reckoned between 10 p.m to 6 a.m.
 - d) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
- 6) Solid Waste – The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
- 7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
- 8) The industry shall submit official e-mail address and any change will be duly informed to the MPCB.
- 9) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
- 10) **The applicant shall obtain Consent to Operate from Maharashtra Pollution Control Board before commissioning of the project.**



MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/24010437
Fax: 24023516
Website: <http://mpcb.gov.in>
Email: cac-cell@mpcb.gov.in



Kalpataru Point, 2nd and
4th floor, Opp. Cine Planet
Cinema, Near Sion Circle,
Sion (E), Mumbai-400022

Infrastructure/ORANGE/L.S.I

No:- Format1.0/CC/UAN No.0000099386/CO 2112001538

Date: 27/12/21

To,
M/S. HILTON INFRASTRUCTURE
CTS NO.207,1/207,& 208, Tardeo Division,
Ward No. D, 4042 - 46, & 4039, Situated at
122-138,
Shuklaji Street, Mumbai



Your Service is Our Duty

Sub: Consent to Operate(1st part) for MHADA redevelopment construction project in Red Category

- Ref:**
1. consent to establish granted vide No Format 1.0/BO/RO-HQ/EIC-MU-5853-4/CE/CC-7664 dtd 19.08.2014
 2. Minutes of 7th Consent Committee Meeting held on 03.09.2021 & 09.09.2021

Your application NO. MPCB-CONSENT-0000099386

For: grant of Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 6 of the Hazardous & Other Wastes (Management & Transboundary Movement) Rules 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I,II,III & IV annexed to this order:

1. **The consent is granted for period upto 30.09.2022**
2. **The capital investment of the project is Rs.59.5673 (Total CI of Project is 146.32 Cr) Cr. (As per undertaking submitted by pp).**
3. **The Consent to Operate is valid for MHADA redevelopment construction named as M/S. HILTON INFRASTRUCTURE,CTS NO.207 ,1/207,& 208 , Tardeo Division, Wardd No. D, 4042 - 46, & 4039, Situated at 122-138, Shuklaji Street -Mumbai on Total Plot Area of 4245.86 SqMtrs for part completed construction BUA of 7249.69 SqMtrs out of Total Construction BUA of 34196.36 SqMtrs as per EC granted dated 30.03.2015 including utilities and services**
4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr No	Description	Permitted (in CMD)	Standards to Disposal	
1.	Trade effluent	Nil	NA	NA

Sr No.	Description	Permitted	Standards to	Disposal
2.	Domestic effluent	55	As per Schedule - I	The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be connected to the sewerage system provided by local body

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Stack No.	Description of stack / source	Number of Stack	Standards to be achieved
NA	NA	0	As per Schedule -II

6. **Conditions under Solid Waste Rules, 2016:**

Sr No	Type Of Waste	Quantity & UoM	Treatment	Disposal
1	DRY GARBAGE	99 Kg/Day	SEGREGATION	MCGM /SALE
2	WET GARBAGE	66 Kg/Day	OWC and composting	As Manure
3	STP SLUDGE	6 Kg/Day	Dewatering	As Manure

7. **Conditions under Hazardous & Other Wastes (M & T M) Rules 2016 for treatment and disposal of hazardous waste:**

Sr No	Category No.	Quantity	UoM	Treatment	Disposal
					NA

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
10. Project Proponent shall install online monitoring system for the parameter pH, SS, BOD and flow at the outlet of STP
11. Project Proponent shall operate Organic waste digester with composting facility or biodigester with composting facility effectively
12. The project proponent shall make provision of charging of electric vehicles in atleast 30 % of total available parking area.
13. Project Proponent shall comply the Construction and Demolition Waste Management Rules, 2016 which is notified by Ministry of Environment, Forest and Climate Change dtd.29/03/2016.
14. The Project proponent shall submit bank Guarantee of Rs 5.956 Lakhs(0.1 % of Capital Investment). The same shall be forfeited as PP has not obtained revalidation of consent to establish dtd 19.08.2014, thus violated the consent conditions.
15. The Project Proponent shall comply with the Environmental Clearance obtained vide No SEAC-2014/CR-11/TC-1 dtd 30.03.2015 for construction project having total plot area of 4245.86 Sqm and total construction BUA of 34196.36 Sqm.



16. The Project Proponent shall comply with the Environmental Clearance obtained vide No SEAC-2014/CR-11/TC-1 dtd 30.03.2015 for construction project having total plot area of 4245.86 Sqm and total construction BUA of 34196.36 Sqm.

For and on behalf of the
Maharashtra Pollution Control Board.

(Ashok Shingare IAS),
Member Secretary

Received Consent fee of -

Sr.No	Amount(Rs.)	Transaction/DR.No.	Date	Transaction Type
1	100000.00	TXN2010000415	06/10/2020	Online Payment
2	100000.00	TXN2110001278	14/10/2021	Online Payment

Copy to:

1. Regional Officer, MPCB, Mumbai and Sub-Regional Officer, MPCB, Mumbai |
- They are directed to ensure the compliance of the consent conditions.
- They are directed to obtain and forfeit the bank guarantee of Rs. Rs 5.956 Lakhs from the Project proponent
2. Chief Accounts Officer, MPCB, Sion, Mumbai





SCHEDULE-I

Terms & conditions for compliance of Water Pollution Control:

- 1) A] As per your application, you have provided Sewage Treatment Plant (STP) with design capacity of 60 CMD based on MBBR
- B] The Applicant shall operate the sewage treatment plant (STP) to treat the sewage so as to achieve the following standards prescribed by the Board or under EP Act, 1986 and Rules made there under from time to time, whichever is stringent.

Sr.No	Parameters	Limiting concentration not to exceed in mg/l, except for pH
1	pH	5.5-9.0
2	BOD	10
3	COD	50
4	TSS	20
5	NH4 N	5
6	N-total	10
7	Fecal Coliform	less than 100

- C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body.
- 2) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system or and extension or addition thereto.
- 3) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.
- 4) **The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act,1974 and as amended, and other provisions as contained in the said act.**

Sr. No.	Purpose for water consumed	Water consumption quantity (CMD)
1.	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2.	Domestic purpose	70.00
3.	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4.	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

- 5) The Applicant shall provide Specific Water Pollution control system as per the conditions of EP Act, 1986 and rule made there under from time to time.

SCHEDULE-II

Terms & conditions for compliance of Air Pollution Control:

- 1) As per your application, you have provided the Air pollution control (APC) system and erected following stack (s) and to observe the following fuel pattern-

Stack No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM
NA	NA	NA	0	NA	0 --NA--

- 2) The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards.

Total Particular matter	Not to exceed	150 mg/Nm ³
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- 3) The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement well before its life come to an end or erection of new pollution control equipment.
- 4) The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).
- 5) **Conditions for utilities like Kitchen, Eating Places, Canteens:-**
- The kitchen shall be provided with exhaust system chimney with oil catcher connected to chimney through ducting.
 - The toilet shall be provided with exhaust system connected to chimney through ducting.
 - The air conditioner shall be vibration proof and the noise shall not exceed 68 dB(A).
 - The exhaust hot air from A.C. shall be attached to Chimney at least 5 mtrs. higher than the nearest tallest building through ducting and shall discharge into open air in such a way that no nuisance is caused to neighbors.

SCHEDULE-III

Details of Bank Guarantees:

Sr. No.	Consent(C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
1	Consent to Operate(1st Part)	Rs 10 Lakhs	15 Days	Operation & Maintenance of Pollution Control Systems	Continuous	31.01.2023
2	Consent to Operate(1st Part)	Rs 2 Lakhs	15 Days	Towards submission of Board Resolution	Continuous	31.01.2023
3	Consent to Operate(1st Part)	Rs 5.956 Lakhs	15 Days	Towards Compliance of Consent Conditions	Continuous	31.01.2023

Sr. No.	Consent (C2E/C2O/C2R)	Amt of BG Imposed	Submission Period	Purpose of BG	Compliance Period	Validity Date
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** The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

Existing BG obtained for above purpose if any may be extended for period of validity as above.

BG Forfeiture History

Srno.	Consent (C2E/C2O/C2R)	Amount of BG Imposed	Submission Period	Purpose of BG	Amount of BG Forfeiture	Reason of BG Forfeiture
1	Consent to Operate(1st Part)	Rs 5.956 Lakhs	15 Days	Towards Compliance of Consent Conditions	Rs 5.956 Lakhs	violation of consent condition

BG Return details

Srno.	Consent (C2E/C2O/C2R)	BG imposed	Purpose of BG	Amount of BG Returned
NA				

SCHEDULE-IV

General Conditions:

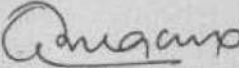
- 1 The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
- 2 The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Solid Waste Management Rule 2016, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011).
- 3 Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
- 4 Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- 5 Conditions for D.G. Set
 - a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
 - b) Industry should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
 - c) Industry should make efforts to bring down noise level due to DG set, outside industrial premises, within ambient noise requirements by proper siting and control measures.



- d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
 - e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
 - f) D.G. Set shall be operated only in case of power failure.
 - g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
 - h) The applicant shall comply with the notification of MoEFCC, India on Environment (Protection) second Amendment Rules vide GSR 371(E) dated 17.05.2002 and its amendments regarding noise limit for generator sets run with diesel.
- 6 Solid Waste - The applicant shall provide onsite municipal solid waste processing system & shall comply with Solid Waste Management Rule 2016 & E-Waste (M & H) Rule 2011.
 - 7 Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
 - 8 Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
 - 9 The treated sewage shall be disinfected using suitable disinfection method.
 - 10 The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
 - 11 The applicant shall make an application for renewal of the consent at least 60 days before date of the expiry of the consent.



For and on behalf of the
Maharashtra Pollution Control Board.


(Ashok Shingare IAS),
Member Secretary

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

No. SIA/MH/NCP/58079/2020
 Environment & Climate
 Change Department
 Room No. 217, 2nd Floor,
 Mantralaya, Mumbai- 400032.
 Date: 22/09/2021

To
 M/s. HILTON INFRASTRUCTURE,
 Tardeo Division, D Ward, Shuklaji Street,
 Mumbai.

Subject : Environment Clearance for Redevelopment Project along with sale component at Tardeo Division, D Ward, Shuklaji Street, Mumbai by M/s. HILTON INFRASTRUCTURE

Reference : Application no. SIA/MH/NCP/58079/2020

This has reference to your communication on the above mentioned subject. The proposal was considered by the SEAC-2 in its 151st meeting under screening category 8 (a) B2 as per EIA Notification, 2006 and recommend to SEIAA. Proposal then considered in 229th Part C meeting of State Level Environment Impact Assessment Authority (SEIAA).

2. Brief Information of the project submitted by you is as below:-

1.	Plot Area (sq.mt.)	4245.86 Sq.mt.
2.	FSI Area (sq.mt.)	22195.05 Sq.mt.
3.	Non FSI Area (sq.mt.)	21030.36 Sq.mt.
4.	Proposed built-up area (FSI + Non FSI) (sq.mt.)	43225.41 Sq.mt.
5.	Building Configuration	Project Proposal
		Redevelopment Building- One building with two wings (Wing B & C): Wing B: 2 Basements + Ground + 13 Floors Wing C: 2 Basements +Ground + 9 Floors
6.	No. of Tenements & Shops	Flats/Shops
		Flats: 65 Nos. Shops: 65 Nos.
		Sale building- One Building with two wings (Wing A1 & A2): 2 Basements + Ground + 1st Floor + 2nd to
		Flats: 244 Nos. Shops: 15 Nos.

		5 th Podium + 6 th to 22 nd Floor	
7.	Total Population	1740 numbers of person including floating population.	
8.	Total Water Requirements (CMD)	206 CMD	
9.	Sewage generation (CMD)	178 CMD	
10.	STP capacity and Technology	2 STPs of capacity 50KL and 160 KL Technology: MBBR (Moving Bed Bio Reactor)	
11.	STP location	Redevelopment: Under ground Sale : 1 st floor	
12.	Total Solid Waste Quantities	Non-biodegradable waste: 397 Kg/day Biodegradable waste: 265 Kg/day Total: 662 Kg/day	
13.	R.G. Area in sq.m.	RG required: 391.54 Sq. mt. RG provided on Ground: 391.72 Sq.mt. RG provided on Podium: Nil Total RG Provided : 391.72 Sq.mt.	
14.	Power requirement	During Operation Phase: Details: Connected load (KW): 5984 KW Maximum demand (KW): 2922 KW	
15.	Energy Efficiency	Total Energy Saving: 21% Energy saving with the help of Solar: 5 %	
16.	DG set capacity	2 DG sets of 320 kVA & 750 kVA capacity	
17.	Parking 4W & 2W	4 Wheelers: MCGM Public Parking: 112 nos. Captive Parking: 199 nos. 2 Wheelers: MCGM Public Parking: 220 nos. Captive Parking: 58 nos.	
18.	Rain water harvesting scheme	Provision of 2 Rain water harvesting tanks of total capacity 110 KL	
19.	Project Cost in (Cr.)	Rs. 272.19 Crores	
20.	EMP Cost	Construction Phase: Rs. 35.90 Lacs Operation Phase: Capital cost: Rs. 153.25 Lacs Operational and Maintenance cost: Rs. 31.37 Lacs/annum	
21.	CER Details with justification if any....	--	

Major particulars of project are as mentioned below:

#	Description	EC received dt. 30.03.2015	Expansion in EC	Remarks
1	Total Plot Area (sq.mt)	4,245.86	4,245.86	No change
2	Ground Coverage Area (sq.mt.)	2,212.21	2,212.21	No change
3	Permissible Built – up area Including Fungible Area (sq.mt)	15,936.18	22,326.84	Increased by 6390.66 sq.mt. due to provision of PPL parking as per LOI received from MCGM dt. 27.03.2019 & increase in Fungible area as per revised DCPR 2034
4	Proposed Built-up Area as per FSI Including Fungible Area (sq.mt)	15,605.49	22,195.05	Proposed increase by 6589.56 sq.mt. as per increase in permissible built-up area
5	Built up Area as per Non FSI (sq.mt)	18,590.87	21,030.36	Proposed increase by 2439.49 sq.mt.
6	Total Construction Built up Area (sq.mt)	34,196.36	43,225.41	Proposed increase by 9029.05 sq.mt.
7	Parking requirement (Nos.)	4 Wheelers: Captive Parking: 178	4 Wheelers: MCGM Public Parking: 112 Captive Parking: 175	Provision of Public Parking as per LOI dt 27.03.2019 received from MCGM Captive parking: Proposed decrease by 3 nos. as per DCPR 2034
8	Parking Spaces Provision (Nos.)	4 Wheelers: Captive Parking: 223	4 Wheelers: MCGM Public Parking: 112 Captive Parking: 199	Provision of 112 nos. of Public Parking as per LOI dt. 27.03.2019 Captive Parking: Proposed as per requirement
		2 Wheelers: Nil	2 Wheelers: MCGM Public Parking: 220 Captive Parking: 58	Proposed 220 nos. of 2W for public parking and 58 nos. of 2W for Captive parking

The comparative chart showing amendment in configuration of buildings is as below.

EC received dt. 30.03.2015	Expansion in EC	Remarks
Redevelopment Building: One building with two wings (Wing B & C): Residential (Wing B): 2 Basements + Ground + 13 Upper Floors Shops (Wing C): 2 Basements + Ground + 8 Upper Floors	Redevelopment Building: One building with two wings (Wing B & C) Wing B : 2 Basements + Ground + 13 Upper Floors Wing C: 2 Basements +Ground +	<ul style="list-style-type: none"> No change in number of floors of Wing B Proposed increase by 1 floor in Wing C Proposed increase by 4 nos. of flats Proposed increase by 4 nos. of shops

Flats: 61 Nos. Shops: 61 Nos.	9 Upper Floors Flats: 65 Nos. Shops: 65 Nos.	<ul style="list-style-type: none"> • Construction of Wing B : Completed up To 13th floor • Construction of Wing C: Completed and occupied up 8th floor
Sale Building : One Building with two wings (Wing A1 & A2): 2 Basements + Lower Ground + Upper Ground + 1 st to 4 th Parking Floors + 5 th to 16 th (part) Upper Floors Flats: 128 Nos. Shops: 11 Nos.	Sale Building : One Building with two wings (Wing A1 & A2): 2 Basements + Ground + 1 st upper floor + 2 nd to 5 th Podium + 6 th to 22 nd upper floor. Flats: 244 Nos. Shops: 15 Nos.	<ul style="list-style-type: none"> • Change in nomenclature of LG and UG as Ground & 1st floor • 1st to 4th parking floor renamed as 2nd to 5th podium • Proposed increase by 5 nos. of floors. • Proposed increase by 116 nos. of flats • Proposed increase by 4 nos. of shops • Construction of Wing-A1 & A2: Completed up to 8th Upper Floors (habitable)

3. The proposal has been considered by SEIAA in its 229th Part c meeting. SEIAA noted that, PP obtained earlier EC dated 30.03.2015 for the plot area of 4,245.86.00 Sq. Mtrs., FSI area of 15,605.49 Sq. Mtrs. and Total construction area of 34,196.36 Sq. Mtrs. Due to increase in built-up area as per DCPR, 2034, PP proposes amendment in earlier EC. Now, Proposed total BUA is 43225.41 Sq.mt. SEIAA decided to accord Environment Clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implantation of following terms and conditions-

Specific Conditions:

A. SEAC Conditions-

1. PP to submit IOD/IOA/Concession Document/Plan Approval or any other form of documents as applicable clarifying its conformity with local planning rules and provisions thereunder as per the circular dated 30.01,2014 issued by the Environment Department, Govt. of Maharashtra.
2. PP to obtain & submit following NOCs as per latest amended plan:
 - a) Water Supply, b) Sewer Connection, c) Solid Waste Management, d) CFO NOC
3. PP to provide air ozonator for STP of sale building to avoid odour to residents as STP is proposed on first floor of building. PP to ensure that nitrogen and phosphate parameters of treated waste water from STP are as per NGT norms.
4. PP to submit drawings of internal storm water drain and sewer line up to final disposal point along with invert level.
5. PP to reduce discharge of excess treated water below 35%.
6. PP to submit final approval received for concession of RG area from MCGM.
7. PP to provide annual maintenance of STP for 10 years or till formation of society, whichever is later & same should be included in EMP.

8. PP to provide minimum 25 % four-wheeler and two-wheeler Parking's should be equipped with electric Charging facilities.

B. SEIAA Conditions-

1. PP to provide grass pavers of suitable types & strength to increase the water permeable mother earth area up to 1/3rd of plot area as well as allow effective fire tender movement.
2. PP to achieve at least 5% of total energy requirement from solar/other renewable sources.
3. PP Shall comply with Standard EC conditions mentioned in the Office Memorandum issued by MoEF& CC vide F.No.22-34/2018-IA.III dt.04.01.2019.
4. SEIAA after deliberation decided to grant EC for – FSI- 22,195.05 m², Non-FSI- 21,030.36 m², Total BUA- 43,225.41 m². (Plan approval - Received concession approval from M.C.G.M on 16.10.2020)

General Conditions:

a) Construction Phase :-

- I. The solid waste generated should be properly collected and segregated. Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. Disposal of muck, Construction spoils, including bituminous material during construction phase should not create any adverse effect on the neighbouring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in the approved sites with the approval of competent authority.
- III. Any hazardous waste generated during construction phase should be disposed of as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- IV. Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- V. Arrangement shall be made that waste water and storm water do not get mixed.
- VI. Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices.
- VII. The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- VIII. Permission to draw ground water for construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- IX. Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.
- X. The Energy Conservation Building code shall be strictly adhered to.
- XI. All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- XII. Additional soil for levelling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and

improved.

- XIII. Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.
- XIV. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XV. The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- XVI. PP to strictly adhere to all the conditions mentioned in Maharashtra (Urban Areas) Protection and Preservation of Trees Act, 1975 as amended during the validity of Environment Clearance.
- XVII. Vehicles hired for transportation of Raw material shall strictly comply the emission norms prescribed by Ministry of Road Transport & Highways Department. The vehicle shall be adequately covered to avoid spillage/leakages.
- XVIII. Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- XIX. Diesel power generating sets proposed as source of backup power for elevators and common area illumination during construction phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel is preferred. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- XX. Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings by a separate environment cell /designated person.

B) Operation phase:-

- I. a) The solid waste generated should be properly collected and segregated. b) Wet waste should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. c) Dry/inert solid waste should be disposed of to the approved sites for land filling after recovering recyclable material.
- II. E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2016.
- III. a) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Treated effluent emanating from STP shall be recycled/ reused to the maximum extent possible. Treatment of 100% grey water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP. b) PP to

give 100 % treatment to sewage /Liquid waste and explore the possibility to recycle at least 50 % of water, Local authority should ensure this.

- IV. Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement.
- V. The Occupancy Certificate shall be issued by the Local Planning Authority to the project only after ensuring sustained availability of drinking water, connectivity of sewer line to the project site and proper disposal of treated water as per environmental norms.
- VI. Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- VII. PP to provide adequate electric charging points for electric vehicles (EVs).
- VIII. Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- IX. A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- X. Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes.
- XI. The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <http://parivesh.nic.in>
- XII. Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
- XIII. A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- XIV. The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

C) General EC Conditions:-

- I. PP has to strictly abide by the conditions stipulated by SEAC & SEIAA.

- II. If applicable Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
 - III. Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
 - IV. The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.
 - V. The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
 - VI. No further Expansion or modifications, other than mentioned in the EIA Notification, 2006 and its amendments, shall be carried out without prior approval of the SEIAA. In case of deviations or alterations in the project proposal from those submitted to SEIAA for clearance, a fresh reference shall be made to the SEIAA as applicable to assess the adequacy of conditions imposed and to add additional environmental protection measures required, if any.
 - VII. This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
 5. This Environment Clearance is issued purely from an environment point of view without prejudice to any court cases and all other applicable permissions/ NOCs shall be obtained before starting proposed work at site.
 6. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environment clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
 7. Validity of Environment Clearance: The environmental clearance accorded shall be valid as per EIA Notification, 2006, amended time to time.
 8. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its

amendments.

9. Any appeal against this Environment clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


Manisha Patankar-Mhanskar
(Member Secretary, SEIAA) 22/11/2024

Copy to:

1. Chairman, SEIAA, Mumbai.
2. Secretary, MoEF & CC, IA- Division MOEF & CC
3. Member Secretary, Maharashtra Pollution Control Board, Mumbai.
4. Regional Office MoEF & CC, Nagpur
5. District Collector, Mumbai City.
6. Commissioner, Municipal Corporation of Greater Mumbai
7. Regional Officer, Maharashtra Pollution Control Board, Mumbai.

Government of Maharashtra

SEAC-2014/CR-11/TC-1
 Environment department
 Room No. 217, 2nd floor,
 Mantralaya Annexe,
 Mumbai- 400 032.
 Dated: 30th March, 2015.

To,
 M/s. Hilton Infrastructure
 Rubberwala House, Dr. A. R. Nair Road,
 Agripada, Mumbai 400 011.

Subject: Environment clearance for proposed Redevelopment Project "Fuego" at CTS No. 207,1/207 & 208 of Tardeo Div. Ward No.D-4042-46 & 4039(D Ward),situated at 122-138,Shuklaji Street,M-8 by M/s. Hilton Infrastructure

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 23rd meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 71st & 82nd meetings.

2. It is noted that the proposal is considered by SEAC-II under screening category 8(a) B2 as per EIA Notification 2006.

Brief Information of the project submitted by you is as-

Name of Project	"Proposed Redevelopment Project", at Shuklaji Street, Mumbai.
Name of Proponent	M/s. Hilton Infrastructure Mr. Tabrez Shaikh- Partner.
Consultant	M/s. Ultra-Tech Environmental Consultancy & Laboratory
Type of project: Housing project / Industrial Estate / SRA scheme / MHADA / Township or others	Redevelopment project.
Location of the project	At C.T.S No. 207, 1/207 & 208 of Tardeo Div. Ward No. D-4042-46 & 4039 (D Ward), situated at 122-138, Shuklaji Street, Mumbai-400008.
Whether in Corporation / Municipal / other area	Municipal Corporation of Greater Mumbai (M.C.G.M.)
Applicability of the DCR	33(7)
Note on the initiated work (If applicable)	<ul style="list-style-type: none"> • Total constructed work (FSI+ Non FSI): 12,272.39 Sq. mt. • Date and area details in the necessary approvals issued by the competent authority (attach scan copies):IOD dated 06.05.2011 and Commencement Certificate dated 26.08.2011 received from M.C.G.M.

LOI / NOC from MHADA / Other approvals (If applicable)	Date and construction area details mentioned in the approved letter: MHADA NOC dated 20 th May 2009
Total Plot Area (sq. m.)	4245.86 Sq. mt.
Deductions	260.42 Sq. mt.
Net Plot area	3985.44 Sq. mt.
Permissible FSI (including TDR etc.)	15936.18 Sq.mt. (including fungible area)
Proposed Built-up Area (FSI & Non-FSI)	<ul style="list-style-type: none"> •FSI area (sq. m.): 15605.49 (including fungible area) •Non FSI area (sq. m.): 18590.87 •Total BUA area (sq. m.): 34196.36
Ground-coverage Percentage (%) (Note: Percentage of plot not open to sky)	2212.21 (55.50%)
Estimated cost of the project	Rs. 146.32 Crores
No. of building & its configuration(s)	<p>Redevelopment:</p> <p>1 Building with 2 wings (Wings B & C):</p> <ul style="list-style-type: none"> • Residential (Wing B): 2 Basements + Ground + 13 Upper Floors • Shops (Wing C): 2 Basements + Ground + 8 Upper Floors <p>Sale:</p> <p>1 Building with 2 wings (Wing A1 & A2) :</p> <p>2 Basements + Lower Ground + Upper Ground + 1st to 4th Parking Floors + 5th to 16th (part) Upper Floors</p>
Number of tenants and shops	<p>Redevelopment:</p> <p>Flats: 61 Nos.</p> <p>Shops: 61 Nos.</p> <p>Sale:</p> <p>Flats: 128 Nos.</p> <p>Shops: 11 Nos.</p>
Number of expected residents / users	<p>Redevelopment: 488 Nos.</p> <p>Sale: 673 Nos.</p> <p>Total: 1161 Nos.</p>
Tenant density per hector	655/hector
Height of the building(s)	<p>Redevelopment:</p> <p>Wing B: 40.90 mt.(Upto Terrace Level)</p> <p>Wing C: 34.40 mt. (Upto Terrace Level)</p> <p>Sale (Wing A1 & A2): 55.25 mt. (Upto Terrace Level)</p>
Right of way (Width of the road from the nearest fire station to the proposed building(s))	18.30 mt. wide road

Turning radius for easy access of fire tender movement from all around the building excluding the width for the plantation	Minimum 6.00 mt.
Existing structure(s)	--
Details of the demolition with disposal (If applicable)	Debris and excavated material has been transported and unloaded at construction of retaining wall in connection with the extension of harbour lines between Andheri & Goregaon stations on Western Railway.
Total Water Requirement	<p>Dry season:</p> <ul style="list-style-type: none"> • Fresh water (CMD): 91 <ul style="list-style-type: none"> ▪ Domestic: From M.C.G.M. : 90 ▪ Swimming pool makeup: From water tanker of potable quality: 1 • Recycled water (CMD): 52 (STP Treated sewage) <ul style="list-style-type: none"> ▪ Flushing = 49 ▪ Gardening = 3 • Total Water Requirement (CMD): 143 • Swimming Pool (CMD) : As mentioned above • Fire fighting (Cum): <p>Redevelopment: 150 (One Time Requirement) Sale: 300 (One Time Requirement)</p> <p>Wet Season:</p> <ul style="list-style-type: none"> • Fresh water (CMD): 91 <ul style="list-style-type: none"> ▪ Domestic: From M.C.G.M. = 47+ From RWH tank = 43 ▪ Swimming pool makeup: From water tanker of potable quality : 1 • Recycled water (CMD): 49 (STP Treated sewage for flushing) • Total Water Requirement (CMD): 140 • Swimming pool make up (CMD): As mentioned above • Fire fighting (CMD): <p>Redevelopment: 150 (One Time Requirement) Sale: 300 (One Time Requirement)</p>
Rain Water Harvesting (RWH)	<ul style="list-style-type: none"> •Level of the Ground water table: 4.0 to 4.3 mt. below ground level •Size and no of RWH tank(s) and Quantity: Redevelopment: 52 KL Sale: 100 KL •Location of the RWH tank(s): Redevelopment: Underground Sale: 1st Basement •Budgetary allocation (Capital cost and O&M cost) Capital cost: Rs.15.20 Lacs O & M cost: Rs. 0.76 Lacs/annum
UGT tanks	<ul style="list-style-type: none"> • Location(s) of the UGT tank(s):

	<p>Redevelopment: Underground Sale: 1st Basement</p>
Storm water drainage	<ul style="list-style-type: none"> •Natural water drainage pattern: The storm water collected through the storm water drains of adequate capacity will be discharged into the external drain. •Quantity of storm water: 0.09 m³/sec •Size of SWD: One internal discharge point of 500 mm dia. with the slope of 1:200
Sewage and Waste water	<ul style="list-style-type: none"> •Sewage generation (CMD): Redevelopment: 44 Sale: 77 •STP technology: MBBR •Capacity of STP (CMD): Redevelopment: 50 KL Sale: 90 KL •Location of the STP: Redevelopment: Ground floor Sale: Lower Ground floor •DG sets (during emergency): for essential back-up (Total DG capacity of the project including load of STP.) Redevelopment: 1 D.G. of capacity 400 kVA Sale: 1 D.G. of capacity 1000 kVA •Budgetary allocation (Capital cost and O&M cost): Capital cost: Rs.64.50 Lacs O & M cost: Rs.18.67 Lacs/annum
Solid waste Management	<p>Waste generation in the Pre Construction and Construction phase:</p> <ul style="list-style-type: none"> • Waste generation: Debris and excavated material has been transported and unloaded at construction of retaining wall in connection with the extension of harbour lines between Andheri & Goregaon stations on Western Railway. • Disposal of the construction waste debris: The construction waste shall be partly reused within plot and partly shall be disposed to Authorized landfill site. <p>Waste generation in the operation Phase:</p> <ul style="list-style-type: none"> • Dry waste (Kg/day): 143 • Wet waste (Kg/day): 303 • STP Sludge (Dry sludge) (Kg/day):18 <p>Mode of Disposal of waste:</p> <ul style="list-style-type: none"> • Dry waste: Non recyclable: To M.C.G.M. Recyclable: To recyclers • Wet waste: Organic Waste Converter (OWC) • STP Sludge (Dry sludge): As manure

	<ul style="list-style-type: none"> • Area requirement: 1. Location(s) and total area provided for the storage and treatment of the solid waste <p>Location: Redevelopment: 1st Basement Level Sale: 2nd Basement Level</p> <p>Area: Redevelopment: 42 Sq. mt. Sale: 66 Sq.mt.</p> <ul style="list-style-type: none"> • Budgetary allocation (Capital cost and O&M cost) Capital cost: Rs. 18.00 lacs (Cost for treatment of biodegradable garbage in Organic Waste Converter (OWC)) O & M cost: Rs. 2.72 lacs/annum (Cost for treatment of biodegradable garbage in Organic Waste Converter (OWC)) 																																																									
Green Belt Development	<p>Total RG area:</p> <ol style="list-style-type: none"> 1. RG area other than green belt (Please specify for playground, etc.): Not applicable 2. RG area under green belt: <ul style="list-style-type: none"> • RG on the ground: 318.96 Sq. mt. • RG on the podium: Nil • Green area on upper floor: 106.25 Sq.mt. 3. Plantation: <ul style="list-style-type: none"> • Number and list of trees species to be planted in the ground RG: 29 nos. <table border="1" data-bbox="639 1014 1294 1585"> <thead> <tr> <th>Sr. No.</th> <th>Common Name</th> <th>Botanical Name</th> </tr> </thead> <tbody> <tr><td>1</td><td>Bahava</td><td><i>Cassia fistula</i></td></tr> <tr><td>2</td><td>Parijatak</td><td><i>Nyctanthes arbor-tristis</i></td></tr> <tr><td>3</td><td>Kunti</td><td><i>Murraya paniculata</i></td></tr> <tr><td>4</td><td>Shirish</td><td><i>Albizia lebeck</i></td></tr> <tr><td>5</td><td>Neem</td><td><i>Azadiracta Indica</i></td></tr> <tr><td>6</td><td>Maharukh</td><td><i>Ailanthus excelsa</i></td></tr> <tr><td>7</td><td>Nandruk</td><td><i>Ficus retusa</i></td></tr> <tr><td>8</td><td>Tamhan</td><td><i>Largerstromia speciosa</i></td></tr> <tr><td>9</td><td>Karanj</td><td><i>Pongamia pinnata</i></td></tr> <tr><td>10</td><td>Sita Ashok</td><td><i>Polyalthia longifolia</i></td></tr> <tr><td>11</td><td>Shirish</td><td><i>Albizia lebeck</i></td></tr> <tr><td>12</td><td>Kadamb</td><td><i>Anthocephallus cadamba</i></td></tr> <tr><td>13</td><td>Son chafa</td><td><i>Michelia champaca</i></td></tr> </tbody> </table> <ul style="list-style-type: none"> • Number and list of shrubs and bushes species to be planted in the podium RG: <p>List of shrubs to be planted on upper floors</p> <table border="1" data-bbox="639 1704 1249 1906"> <thead> <tr> <th>Sr. No.</th> <th>Common Name</th> <th>Botanical Name</th> </tr> </thead> <tbody> <tr><td>1</td><td>White Plumbago</td><td><i>Plumbago zeylanica</i></td></tr> <tr><td>2</td><td>Tarwad</td><td><i>Cassica auriculata</i></td></tr> <tr><td>3</td><td>Nirgudi</td><td><i>Vitex negundo</i></td></tr> <tr><td>4</td><td>Takala</td><td><i>Cassica tora</i></td></tr> </tbody> </table> 	Sr. No.	Common Name	Botanical Name	1	Bahava	<i>Cassia fistula</i>	2	Parijatak	<i>Nyctanthes arbor-tristis</i>	3	Kunti	<i>Murraya paniculata</i>	4	Shirish	<i>Albizia lebeck</i>	5	Neem	<i>Azadiracta Indica</i>	6	Maharukh	<i>Ailanthus excelsa</i>	7	Nandruk	<i>Ficus retusa</i>	8	Tamhan	<i>Largerstromia speciosa</i>	9	Karanj	<i>Pongamia pinnata</i>	10	Sita Ashok	<i>Polyalthia longifolia</i>	11	Shirish	<i>Albizia lebeck</i>	12	Kadamb	<i>Anthocephallus cadamba</i>	13	Son chafa	<i>Michelia champaca</i>	Sr. No.	Common Name	Botanical Name	1	White Plumbago	<i>Plumbago zeylanica</i>	2	Tarwad	<i>Cassica auriculata</i>	3	Nirgudi	<i>Vitex negundo</i>	4	Takala	<i>Cassica tora</i>
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Energy	<ul style="list-style-type: none"> • Power supply: • Maximum demand: 1766 KW • Connected load: 3790 KW • Source: Local Authority Energy saving by non-conventional method: Provision of solar water heating system Use of solar lighting for common area and staircase lighting Use of solar energy for external lighting CFL / T5 Lamps & Electronic Ballast for common area lighting LED lights for Lift lobby and staircase Variable frequency devices (VFD) for lifts and pumps • Detail calculations & % of saving: 19 % • Compliance of the ECBC guidelines: (Yes / No) (If yes Then submit compliance in tabular form): Yes. • Budgetary allocation (Capital cost and O&M cost) Capital cost: Rs. 56.60 lacs (Solar system) O & M cost: Rs. 2.84 lacs/annum (Solar system) DG Set: • Number and capacity of the DG sets to be used: For essential backup For Redevelopment: 1 D.G. of capacity 400 kVA For Sale: 1 D.G. of capacity 1000 kVA • Type of fuel used: Diesel 																		
Environmental Management plan Budgetary Allocation	<p>Construction phase (with Break-up):</p> <ul style="list-style-type: none"> • Capital cost • O & M cost (Please ensure manpower and other details) <p>Total cost incurred for EMP</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <thead> <tr> <th style="width: 5%;">Sr. No.</th> <th style="width: 20%;">Component</th> <th style="width: 55%;">Description</th> <th style="width: 20%;">Total Cost (Rs. In Lacs)</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">1</td> <td style="text-align: center;">Air Environment</td> <td>Water for Dust Suppression</td> <td style="text-align: center;">12.96</td> </tr> <tr> <td rowspan="3" style="text-align: center;">2</td> <td rowspan="3" style="text-align: center;">Health & Hygiene Environment</td> <td>Site Sanitation</td> <td style="text-align: center;">5.00</td> </tr> <tr> <td>Disinfection at site</td> <td style="text-align: center;">3.60</td> </tr> <tr> <td>Health Check up of workers</td> <td style="text-align: center;">27.00</td> </tr> </tbody> </table>			Sr. No.	Component	Description	Total Cost (Rs. In Lacs)	1	Air Environment	Water for Dust Suppression	12.96	2	Health & Hygiene Environment	Site Sanitation	5.00	Disinfection at site	3.60	Health Check up of workers	27.00
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3	Environment management	Environmental Monitoring	0.90	
4	Total Cost		49.46	

Operation Phase (with Break-up)-

- Capital cost
- O&M cost (Please ensure manpower and other details)

Sr. No	Component	Description	Capital cost Rs. In lacs.	Operational and Maintenance cost (Rs. in lacs/yr)	
1	Water Environment	Waste water treatment	STP cost of (2STPs of capacity 90 KL and 50 KL)	64.50	18.67
		Water Conservation (Rain Water Harvesting)	Rain Water Harvesting (2 RWH tanks of total capacity 152 KL)	15.20	0.76
2	Land Environment (Solid Waste Management)	Cost for Treatment of biodegradable garbage in OWC	18.00	2.72	
3	Air Environment	Gardening	2.34	0.37	
4	Energy Conservation	Solar panels for common area lighting	12.00	0.80	
		Solar water heating system	24.50	0.70	
		Solar panels for external lighting	20.10	1.34	

	5	Environment Monitoring	--	MOEF approved agency for Monitoring. Hence no set up cost is involved	18.89
	6	Other maintenance cost	Other maintenance cost (FOR SWM, Water tanks, DG etc.)	--	3.13
	Total Cost			156.64	47.38
	<p>• Quantum and generation of Corpus fund and Commitment: Project proponent shall operate and maintain EMF for 3 years after giving possession and shall also generate corpus fund during 3 years for O & M of Rs.142.14 lacs (i.e. 47.38 lacs x 3 years).</p> <p>• Responsibility for further O &M: Corpus fund shall be handed over to the society. While handing over Environmental Management Facilities M.O.U. shall be made with society to accept responsibility of further O & M of EMF.</p>				
Traffic Management	<p>Nos. of the junction to the main road & design of confluence: One entry & one exit Parking details: Number and area of basement: 2 Basements Total Parking area: 6590.50 Sq.mt. Area per car: 30 Sq. mt./Car •4-Wheeler: 223 Nos. • Width of all Internal roads (m): Minimum 6.00 mt.</p>				

3. The proposal has been considered by SEIAA in its 71st & 82nd meetings & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions :

General Conditions for Pre- construction phase:-

- (i) This environmental clearance is issued subject to utilization of excess treated water
- (ii) This environmental clearance is issued subject to land use verification. Local authority / planning authority should ensure this with respect to Rules, Regulations, Notifications, Government Resolutions, Circulars, etc. issued if any. Judgments/orders issued by Hon'ble High Court, Hon'ble NGT, Hon'ble Supreme Court regarding DCR provisions, environmental issues applicable in this matter should be verified. PP should submit exactly the same plans appraised by concern SEAC and SEIAA. If any discrepancy found in the plans submitted or details provided in the above para may be reported to environment department. This environmental clearance issued with respect to the environmental consideration and it

does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.

- (iii) Occupation certificate shall be issued to the project only after ensuring availability of drinking water and connectivity of the sewer line to the project site.
- (iv) STP capacity shall be increased appropriately considering waste water generation.
- (v) This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.
- (vi) PP has to abide by the conditions stipulated by SEAC & SEIAA.
- (vii) The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.
- (viii) "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.
- (ix) All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.

General Conditions for Construction Phase-

- (i) Provision shall be made for the housing of construction labour within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.
- (ii) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.
- (iii) The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.
- (iv) Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.
- (v) Arrangement shall be made that waste water and storm water do not get mixed.
- (vi) All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.
- (vii) Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.
- (viii) Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.
- (ix) Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.

- (x) Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.
- (xi) Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.
- (xii) The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.
- (xiii) The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.
- (xiv) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
- (xv) Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.
- (xvi) Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).
- (xvii) Ready mixed concrete must be used in building construction.
- (xviii) The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of fire fighting equipments etc. as per National Building Code including measures from lighting.
- (xix) Storm water control and its re-use as per CGWB and BIS standards for various applications.
- (xx) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.
- (xxi) The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.
- (xxii) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated effluent, if any should be discharge in the sewer line. Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.
- (xxiii) Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.
- (xxiv) Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.
- (xxv) Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.

- (xxvi) Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.
- (xxvii) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.
- (xxviii) Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non conventional energy source as source of energy.
- (xxix) Diesel power generating sets proposed as source of back up power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.
- (xxx) Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.
- (xxxi) Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.
- (xxxii) Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.
- (xxxiii) The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.
- (xxxiv) Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.
- (xxxv) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.
- (xxxvi) Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.


General Conditions for Post- construction/operation phase-

- (i) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. As agreed during the SEIAA meeting, PP to explore possibility of utilizing excess treated water in the adjacent area for gardening before discharging it into sewer line. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed

and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.

- (ii) Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.
- (iii) Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.
- (iv) A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.
- (v) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.
- (vi) A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.
- (vii) Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.
- (viii) The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at <http://ec.maharashtra.gov.in>.
- (ix) Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.
- (x) A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.
- (xi) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM, SO₂, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.
- (xii) The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.

- (xiii) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.
4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.
 5. In case of submission of false document and non compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.
 6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.
 7. **Validity of Environment Clearance:** The environmental clearance accorded shall be valid for a period of 5 years.
 8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.
 9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.
 10. Any appeal against this environmental clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune), New Administrative Building, 1st Floor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.


 (Ajoy Mehta)
 Principal Secretary,
 Environment department &
 MS, SEIAA

Copy to:

1. Shri. R. C. Joshi, IAS (Retd.), Chairman, SEIAA, Flat No. 26, Belvedere, Bhulabhai desai road, Breach candy, Mumbai- 400026.

2. Shri. Ravi Bhushan Budhiraja, Chairman, SEAC-II, 5-South, Dilwara Apartment, Cooperage, M.K.Road, Mumbai 400021.
3. Additional Secretary, MOEF, 'MoEF & CC, Indira Paryavaran Bhavan, Jorbagh Road, Aliganj, New Delhi-110003.
4. Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.
5. The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No- 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016). (MP).
6. Regional Office, MPCB, Mumbai.
7. Collector, Mumbai.
8. Commissioner, Municipal Corporation Greater Mumbai (MCGM).
9. CEO, MHADA, Bandra (E), Mumbai
10. IA- Division, Monitoring Cell, MoEF & CC, Indira Paryavaran Bhavan, Jorbagh Road, Aliganj, New Delhi-110003.
11. Select file (TC-3)

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